



Chris Rader  
Council Liaison

Sandy Riffle  
Interim City Clerk

John Freeburg  
Police Chief

Allen Lane, P.E.  
City Engineer

Ellen Hardgrove, AICP  
City Planner

## **DEVELOPMENT REVIEW COMMITTEE MEETING AGENDA**

**City Hall – Council Chamber  
405 Bagshaw Way, Edgewood, Florida  
Friday, February 4, 2022  
11:30 am**

### **1. Call to Order**

Roll Call and Determination of Quorum

### **DRC BUSINESS**

- 2. Review and Approval of August 10, 2021 DRC Minutes**
- 3. Proposed Planned Development (Haven Oaks/Holden Ave)**
- 4. Public Comments**
- 5. Adjournment**

Please silence all electronic devices (cell phones, pages, etc.) be silenced during out meeting.

**In accordance with the American Disabilities Act (ADA), if any person with a disability as defined by the ADA needs special accommodation to participate in this proceeding, he or she should telephone the City Clerk at (407) 851-2920.**

Thank you for participating in your government!



DRC Meeting Draft Minutes  
Holden Avenue Planned Development  
August 10, 2021, at 11:00 am

**DRC Committee and Staff Attendees:**

Sandra Riffle, Deputy City Clerk  
Ellen Hardgrove, AICP, City Planner  
Allen Lane, PE, City Engineer  
Councilmember Rader, Council Member Liaison  
John Freeburg, Police Chief  
Jim Winter, RLA, Landscape Architect, CPH  
Drew Smith, City Attorney

**Absent:**

Bea Meeks, City Clerk

**Applicants:**

Kal Hussein, Bavaria Holdings  
Alex Hussein, Bavaria Holdings  
Rick Baldocchi, P.E., AVCON  
Bradley Elwell, P.E., AVCON  
James Phelan – Toll Brothers

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**1. Call to Order and Determination of Quorum**

There was a quorum with four DRC members in attendance; City Clerk Bea Meeks was absent.

2. Planner Hardgrove opened the meeting at 11:01 a.m. and explained that the purpose of the DRC meeting is to discuss the proposed Planned Development (PD) to be located on Holden Avenue.

**3. Minutes from last meeting review/approval**

*Planner Hardgrove motioned to approve the November 5, 2020 minutes as presented; seconded by Engineer Lane. The motion as approved (4/0).*

**4. Proposed Planned Development (Holden Avenue)**

Following are abbreviated minutes of the August 10, 2021 DRC meeting. Reports from the City Planner, City Engineer, and City Landscape Architect were reviewed; the major discussion items are listed below.

• **Discussion of lift station location change from land use plan (LUP)**

Orange County wants a public lift station. It must be 50 feet from every residential lot, not from the structures. This was not anticipated as the original plan was for the lift station to be private. The proposed location is in the back.

- **Discussion on increase in number of 50-foot lots**

Engineer Baldocchi said they now have 12 50-foot lots due to the new configuration resulting from the lift station. City Engineer Lane said there is a maximum of three 50-foot lots, unless trees will be saved to create additional 50-foot lots.

Mr. Phelan said their configuration results in more 50-foot lots but they can have a mitigation plan and add more trees. He said their hand was forced due to the code restrictions for the lift station and they needed to maintain the 43 lot count

Planner Hardgrove noted a minimum of 36 must be equal to or greater than 60-foot and there are now only 31. Attorney Smith said the PD can be amended during the site review process as a non-material deviation.

Councilmember Rader referred to note 9 that additional 50 foot lots may be included, if approved, for trees. Planner Hardgrove said it would be based on preservation of historic trees that would otherwise be removed.

- **Discussion on recreation area**

Planner Hardgrove questioned if the shown recreation areas were just open space and stated that it should be usable recreation space. Councilmember Rader was concerned about odors with the lift station located close to the pavilion.

Mr. Phelan argued that if they were to relocate lot 41, it would help ensure the viability of trees. He added this would centralize better green spaces, recreational areas and preserve more trees.

- **Discussion of signage**

Planner Hardgrove said the maximum sign size is 32 square feet on a wall. Mr. Phelan said the sign is free-standing and Planner Hardgrove explained how to measure copy area.

Councilmember Rader said the applicant needs to submit a sign package of what it will look like and not just pictures of a sign from a different location. He added that the PD needs a name with a preference for a connection of the name to Edgewood.

- **Need for floor plans consistent with Development Agreement (DA)**

Engineer Baldocchi said the impervious/pervious calculation illustration was not intended to tie floor plans to elevations. Planner Hardgrove reminded the applicant that at least two elevations were required for each floor plan.

In response to Planner Hardgrove, Mr. Phelan said they plan for five floor plans and 10 elevations.

Attorney Smith said the intent is to ensure a variable look within the development. The city is looking to see if there is a variable look within the development.

Councilmember Rader requested a key showing the materials.

Mr. Phelan said the intent is to have at least two different products. They will meet the guidelines of the DA and they want to develop products unique to the City of Edgewood.  
Discussion of parking zones

- **On-street parking**

Planner Hardgrove said they need to delineate where parking will be allowed on the road. Engineer Baldocchi said there is no parking in the cul-de-sac.

- **Discussion of Holden Avenue Improvements/Coordination with County**

In response to Planner Hardgrove, Engineer Baldocchi said Orange County has not seen the plans for Holden Avenue.

- **Stormwater management in the Holden Buffer**

Engineer Baldocchi said there is a shallow swale that runs along Holden to the pond.

City Engineer Lane noted that half of the water along Holden is being deflected into their pond, but he cannot see where the outfall is located. Engineer Baldocchi showed where discharge is allowed and said they can move the swale closer to the wall.

City Engineer said Orange County Schools requires the swale to be five feet from edge of sidewalk to top of the slope so people for sidewalk safety.

In reference to storage under the driveways, Engineer Baldocchi said SJRWMD wants to know who the maintaining agency will be, which is the HOA.

- **The easement now shown along the front of the lots**

Engineer Baldocchi said it is for power. The water lines are in the ROW. There was concern related to the ability to plant the required front lot canopy tree given the new easement and the 20 feet front building setback. City Engineer Lane said if the waterline is on the west side, it leaves the east side open for all utilities that are not water to eliminate the need for the new easement. Mr. Phelan said they can circle back with an email to clarify this.

- **Stormwater Pond Tract v Recreation Area Tract**

Engineer Elwell said the pond tract acreage is the entire tract. The recreation area is separate.

- **Lack of Signed/Sealed Survey**

In response to Planner Hardgrove, Engineer Baldocchi said there was a boundary survey for this submittal.

Planner Hardgrove said a signed and sealed survey is required. Attorney Smith said the boundary survey appears to meet the requirements. City Engineer Lane confirmed it is good as long as the survey contains all the boundaries.

- **Landscaping**

Landscape Architect Winter said some posts may need to be moved to avoid killing other people's trees. He added that cypress mulch is not allowed (#8).

- **Goals for next DRC**

In response to Planner Hardgrove, Engineer Baldocchi said he does not have a time frame for when they will return to DRC. Engineer Baldocchi said he would like to get some nods on the site plan so he can submit everything. Before the next formal submittal, he would like to send an email to committee members to get a cursory staff review before they return to DRC. Attorney Smith reminded him to blind carbon copy (BCC) each committee member to avoid cross communication due to sunshine rules

Elevations, floor plans and signs need to be completed.

**Public Comment:**

Sandra DePorter, Edgewood resident, stated her concern about runoff onto her property.

Engineer Baldocchi added they are not allowed to increase run-off and this will not make drainage worse.

In response to Sandra DePorter, Engineer Baldocchi said the septic tanks will be demolished.

**Chief Freeburg**

Chief Freeburg said he talked to Mr. Hussein about the tall grass about resolving the maintenance of the property, including mowing.

**Final Comments**

Attorney Smith said he did not hear any text changes to the DA. The revised Land Use Plan can be adopted as an addendum that shows the newly configured lots, adding language that revises any text conflict within the DA.

Attorney Smith said the changes were to fit a lift station and not have to lose a lot and the addendum will provide transparency.

***Planner Hardgrove moved to adjourn; second by Councilmember Rader. The meeting was adjourned at 12:44 pm.***

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Sandra Riffle, CMC  
Interim City Clerk

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Approval Date



# Memo

**To:** Development Review Committee  
**From:** Brett Sollazzo, Deputy City Clerk  
**Date:** January 31, 2022  
**Re:** Haven Oaks Proposed Planned Development

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The following items for the February 4, 2022 Development Review Committee Meeting are included for your review.

- DRC member and consultant reports
  - Ellen Hardgrove, AICP City Planner (Pages 6-15)
  - Allen Lane, PE CPH (Pages 16-20)
  - Jim Winter, RLA Vice-President CPH (Pages 21-22)
- Haven Oaks PD Development Plans (Pages 23-34)
- Haven Oaks PD Construction Plans (Pages 35-71)
- Haven Oaks PD Landscape & Hardscape Plans (Pages 72-76)
- Haven Oaks PD Arbor Plans (Pages 77-80)
- Haven Oaks PD Floor Plans & Elevations (Pages 81-111)

# Ellen S. Hardgrove, AICP, Planning Consultant, Inc.

Subject: Holden PD DRC

Project: Haven Oaks Development Plan/Preliminary Subdivision Plan

Date: January 27, 2022

The Holden Avenue PD Land Use Plan was approved February 16, 2021. The Development Agreement was recorded 3/22/2021 (DOC #202110162289). Per Code Section 134-458, the next phase of the PD process is approval of the Development Plan, which typically is also the Preliminary Subdivision Plan.

The applicant has submitted a “Development Plan/Preliminary Subdivision Plan” dated “January 13, 2022” along with “Construction Plans” dated 2022-01-13. The Development Plan needs to be approved prior to construction drawings. This review focuses on the Development Plan (DP) but also provides preliminary comments on the construction drawings, which are nearly the same as those for the DP are also provided.

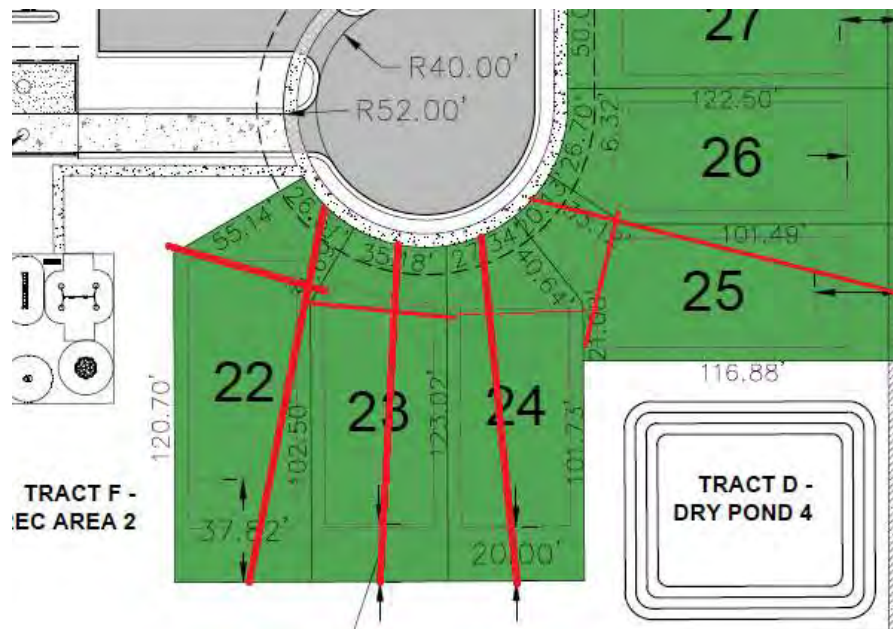
## Development Plan

1. It is recommended to be prepared to address the P&Z Board and City Council related to the significant change in the subdivision’s lot size composition. Even though the development agreement allows an increase number of 50 feet wide lots, the change between the Land Use Plan and the Development Plan is substantial as shown in the table below.

| Lot width | Number of Lots            |                        |                       |
|-----------|---------------------------|------------------------|-----------------------|
|           | Per Development Agreement | Approved Land Use Plan | As currently proposed |
| 50 feet   | Maximum 3                 | 3 (6.9%)               | 20(46.5%)             |
| 60 feet   | Minimum 36                | 36 (83.7%)             | 19 (44.2)             |
| 70 feet   | Minimum 4                 | 4 (9.3%)               | 4 (9.3%)              |
| Total     | 43                        | 43                     | 43                    |

2. The width of Lot 21 at the road is identified as 60 feet in width, though when scaling the lot, the lot is 50 feet in width. The color code of a 50 feet wide lot is correct.
3. Changing the “Requested Waivers” to “Approved Waivers” is recommended.
4. Modify this footnote under the setback table for clarity: “The listed pool, pool enclosure, and screen enclosure setbacks may apply if approved by Orange County Traffic Engineering/Transportation Planning. ROW setback applies to accessory structures in addition to pools and screen enclosures within the row setback.” Suggested: “The listed setback for pools, pool/screen enclosure, as well as other accessory structures, can only be applied to the lots adjacent to Holden Avenue if approved by Orange County Traffic Engineering/ Transportation Planning.” Provide asterisks to indicate the footnote in the table.
5. Provide an explanation as to why the front setback for Lot 6 is noted as 35 feet.
6. Eliminate all irrelevant lines from the lots. For example, Lot 23 appears to have two front setbacks. Another example would be Lot 21 appears to have two rear lines.

7. Modify the General Site Data table by changing the “Maximum Building Coverage” to “Maximum Impervious Lot Coverage” to ensure the understanding that this pertains to more than building coverage.
8. Add the underlined text to this note for consistency with the Development Agreement: RESIDENTIAL STRUCTURES OF NO LESS THAN 1,800 SF UNDER A/C SHALL BE CONSTRUCTED ON THE SUBJECT PROPERTY AND THIRTEEN (13) OF THE RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN 2,200 SQUARE FEET UNDER A/C
9. The front building setbacks on Lots 22 through 25 are incorrect. Per code Section 126-168(8), where lot widths are less than the minimum, the front setback becomes the point where the minimum lot width is achieved. Lot width must be measured at a right angle to the lot depth line. The lot depth line is a line connecting the midpoint of the front lot line with the midpoint of the rear lot line. See sketch below for an estimated location of the front setbacks on these lots. Revise to show the Code required building envelopes. Please check all sheets and revise where necessary to consistently show the correct setbacks.



10. Provide an explanation why the front setback for Lot 6 is noted as 35 feet.

| SETBACKS  |   |
|-----------|---|
| FRONT LOT | 20' HOUSE, 23' GARAGE, 15' PORCH<br>35' FOR LOT 6 |

11. Why is Tact A identified as a wet pond on the DP, but dry on the Construction documents? The DP shows a decorative fence around the pond; the Construction plans do not.
12. Identify the call box location on the sheets.

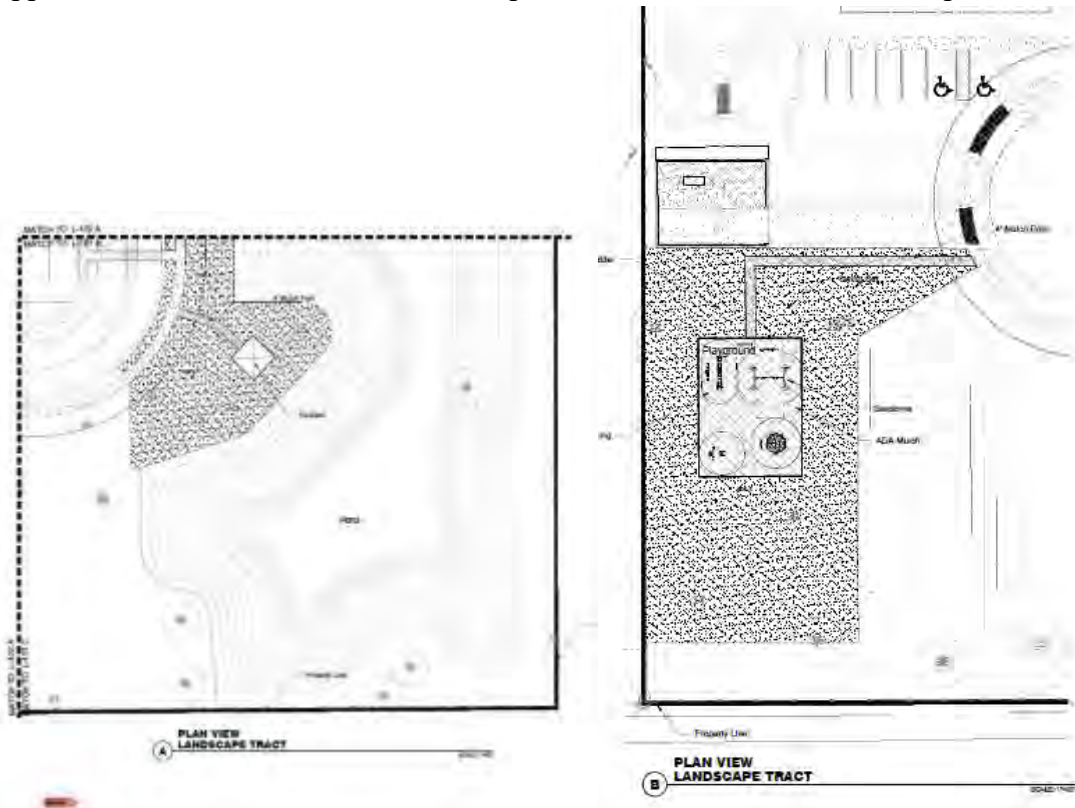


13. Provide an explanation why the front setback for Lot 6 is noted as 35 feet.

| SETBACKS  |   |
|-----------|---|
| FRONT LOT | 20' HOUSE, 23' GARAGE, 15' PORCH<br>35' FOR LOT 6 |

14. Please use darker lines to delineate the lots and tract boundaries. For example, Tract F, the recreation tract appears to include the area south of Lots 22-25. If this is the case, is that area really being used for recreation?

15. It would be more accurate to identify most of Tracts D and E as open space unless the applicant can identify the recreational uses of these entire areas. The recreation areas appear to be those identified as Landscape Tracts A and B on the Landscape Plan.



16. Although off by fractions, why do the tract areas differ between the DP and Construction Documents?

DP:

ENCLOSURES WITHIN THE RUBY SETBACK

| TRACT AREAS                  |                       |            |
|------------------------------|-----------------------|------------|
| TRACT                        | AREA                  | PERCENTAGE |
| TRACT A - WET POND 1         | 54,067 SF - 1.241 AC  | 9.07%      |
| TRACT B - DRY POND 2         | 24,612 SF - 0.565 AC  | 4.13%      |
| TRACT C - DRY POND 3         | 19,416 SF - 0.446 AC  | 3.26%      |
| TRACT D - DRY POND 4         | 12,230 SF - 0.281 AC  | 2.05%      |
| TRACT E - RECREATION AREA 1  | 35,159 SF - 0.807 AC  | 5.90%      |
| TRACT F - RECREATION AREA 2  | 19,653 SF - 0.451 AC  | 3.30%      |
| TRACT G - ROADWAY            | 87,376 SF - 2.006 AC  | 14.66%     |
| TRACT H - LANDSCAPE AREA 1   | 15,722 SF - 0.361 AC  | 2.64%      |
| TRACT I - LANDSCAPE AREA 2   | 5,703 SF - 0.131 AC   | 0.96%      |
| TRACT J - LIFT STATION TRACT | 1,575 SF - 0.036 AC   | 0.26%      |
| TOTAL PROPERTY               | 595,996 SF - 13.68 AC | 100.00%    |
| TOTAL POND AREA              | 110,325 SF - 2.533 AC | 18.51%     |
| TOTAL RECREATION AREA        | 54,812 SF - 1.258 AC  | 9.20%      |

Construction Document:

| TRACT AREAS                  |                       |            |
|------------------------------|-----------------------|------------|
| TRACT                        | AREA                  | PERCENTAGE |
| TRACT A - DRY POND 1         | 53,804 SF - 1.235 AC  | 9.03%      |
| TRACT B - DRY POND 2         | 24,612 SF - 0.565 AC  | 4.13%      |
| TRACT C - DRY POND 3         | 19,416 SF - 0.446 AC  | 3.26%      |
| TRACT D - DRY POND 4         | 12,230 SF - 0.281 AC  | 2.05%      |
| TRACT E - RECREATION AREA 1  | 35,311 SF - 0.811 AC  | 5.92%      |
| TRACT F - RECREATION AREA 2  | 19,653 SF - 0.451 AC  | 3.30%      |
| TRACT G - ROADWAY            | 87,376 SF - 2.006 AC  | 14.66%     |
| TRACT H - LANDSCAPE AREA 1   | 15,722 SF - 0.361 AC  | 2.64%      |
| TRACT I - LANDSCAPE AREA 2   | 5,814 SF - 0.133 AC   | 0.98%      |
| TRACT J - LIFT STATION TRACT | 1,575 SF - 0.036 AC   | 0.26%      |
| TOTAL PROPERTY               | 595,996 SF - 13.68 AC | 100.00%    |
| TOTAL POND AREA              | 110,062 SF - 2.527 AC | 18.47%     |
| TOTAL RECREATION AREA        | 54,964 SF - 1.262 AC  | 9.22%      |

More importantly, revise the recreation area totals based on comment 15 unless the recreation use of open space is demonstrated.

17. Is the illustrated access to stormwater pond SW4 practical? The “Tree Removal & Saved Plan” shows three historic or specimen trees will limit the currently proposed access width to the pond.

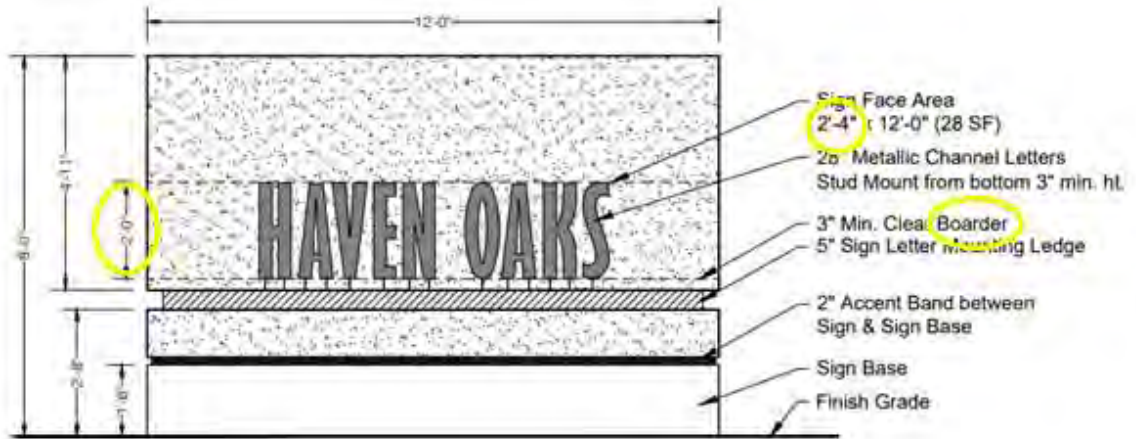
18. In the “Notes” table, identify the “Lot Trees” as “Rear Lot Trees” per the Development Agreement.

NOTES:

1. MINIMUM DRIVEWAY WIDTH: 18' (PAVERS)
2. MINIMUM LOT SIZE: 8,000 SF
3. PRIVATE ROAD AND STORMWATER MANAGEMENT SYSTEM TO BE OWNED AND MAINTAINED BY THE HOA
4. STREET TREES WILL NOT BE LOCATED WITHIN THE RIGHT OF WAY TRACT  
STREET TREES: 1 SHADE TREE 7'-0" FROM SIDEWALK PER LOT  
LOT TREES: 1 SHADE TREE PER LOT

19. Is the intention to place the required street trees within the 10 feet wide portion of the utility easement on the front of the lots? If the trees will be placed outside the easement, there no longer appears to be sufficient area for a canopy tree given the building can be situated ten (10) feet from the easement, the porch five (5) feet from the easement, and some front yards are occupied by a transformer box. The intention of Development Agreement Item 5.p.iii (a) is “to achieve the intention of a tree line street in the community.” Please provide an explanation and/or demonstrate how this will be accomplished. Options to remedy this include, but are likely not limited to, placing the easement in the rear of the lots, burying the utilities proposed within this easement much deeper than typical, or moving the house further from the road (not at the minimum front setback).
20. Explain the intent of the three house models in the DP compared to the submitted house elevations; e.g., Sanderling is included in the DP, but not in the elevations.

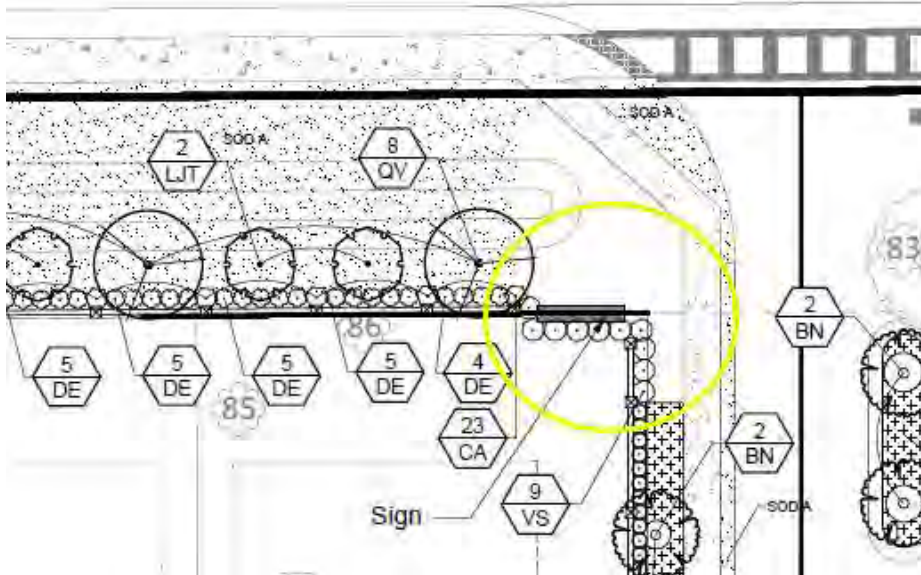
22. Sign and Wall Elevation Sheet: regardless of the comments in #21, is there a conflict in “Sign Face Area” size “2’-4” and the measurement illustrated (2 feet)?



23. Landscape Plan: Why is the note shown below included on the Landscape Plan when the submittal is the Development Plan?

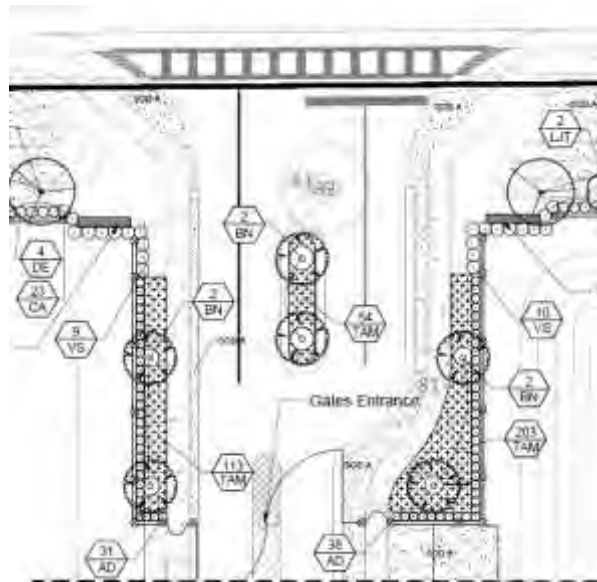
Note: The location of the landscaping shown does not necessarily correspond to the landscaping required in the Developer's Agreement (DA) and that consistency with the DA will be provided with the final landscape plans to be submitted with the Development Plan

24. Landscape Plan: Is the sign within Lot 1? If so, an easement is necessary.



25. Landscape Plan: How is the mulch path for the pavilion and recreation area ADA compliant? Please indicate ADA compliant mulch will be used.

26. Landscape Plan: The Development Agreement requires the trees at the entrance to be “a mix of evergreen trees, as detailed above, and the following palm trees: Medjool, Bismarck...” The “entrance” is defined as “the area on either side of the entrance road.” As proposed, all the trees are Bismarck Palms. Revise the plan to include the evergreen trees.



27. A lighting plan is recommended if lighting is proposed at the entrance, recreation areas, within the landscaped buffer, and along the subdivision street, etc.

**Construction Plans**

- 28. Sheet C-001: Grading and Drainage Note references “all construction within street right-of-way shall conform to the city of Edgewood requirements.” Should Orange County requirements be added to this note given the road and sidewalk improvements proposed within the Holden Avenue right-of-way?
- 29. Sheet C-001: Should Utility Note #1 be modified to include OUC given the reference to water and wastewater?
- 30. Sheet C-200: The front building setbacks on some of the irregular shaped lots are incorrect as noted under the DP comments. Revise to show the Code required building envelopes.
- 31. Sheet C-200: Provide an explanation why the front setback for Lot 6 is noted as 35 feet.

| SETBACKS  |   |
|-----------|---|
| FRONT LOT | 20' HOUSE, 23' GARAGE, 15' PORCH<br>35' FOR LOT 6 |

32. Sheet C- 200: Provide more detail in the General Site Data Table related to Maximum Building Lot Coverage. First modify the title to be “Maximum Impervious Lot Coverage” to ensure the understanding that this pertains to more than building coverage. Second, provide the different maximum percentages for each lot size per the Development Agreement.

| GENERAL SITE DATA                    |  |
|--------------------------------------|--|
| PARCEL ID#                           | 14-23-29-0000-00-004<br>14-23-29-0000-00-005<br>14-23-29-0000-00-062<br>14-23-29-0000-00-064<br>14-23-29-0000-00-063 &<br>14-23-29-0000-00-042 |
| ZONING                               | PD   |
| EXISTING USE                         | VACANT / SINGLE FAMILY HOME  |
| JURISDICTION                         | CITY OF EDGEWOOD   |
| FUTURE LAND USE                      | LOW DENSITY RESIDENTIAL (LDR)  |
| DEVELOPABLE AREA                     | 13.68 ACRES  |
| PROPOSED DEVELOPMENT (SINGLE FAMILY) | 43 LOTS (SINGLE PHASE)   |
| MINIMUM LIVING AREA                  | 1,800 SF, MIN. 13 OF THE RESIDENTIAL STRUCTURES SHALL BE GREATER THAN 2200 SF)   |
| NET UNITS PER ACRE                   | 3.14 UNITS PER ACRE  |
| MIN. LOT SIZE                        | 6,000 SF   |
| MIN. LOT WIDTH                       | 50' (FRONT SETBACK LINE)   |
| MAXIMUM BUILDING HEIGHT              | 35' TWO STORY  |
| MAXIMUM BUILDING LOT COVERAGE        | 70%  |

i. Maximum Impervious Lot Coverage: The Developer has requested a waiver of the maximum impervious coverage on certain residential lots pursuant to Section 134-460(a)(9) of the City’s Code. The maximum impervious coverage for each lot size within the development is shown below:

- 50’ lots – 70%
- 60’ lots – 70%
- 70’ lots – 63%

33. Sheet C-200 and other sheets where necessary: identify the call box location.

34. Sheet C-200: Is the illustrated access to stormwater pond SW4 practical? The “Tree Removal & Saved Plan” shows three historic or specimen trees will limit the currently proposed access width to the pond.

35. Sheet C-200: Please use darker lines to delineate the lots and tract boundaries. For example, Tract F, the recreation tract appears to include the area south of Lots 22-25. If this is the case, is that area really being used for recreation? In addition, it would be more accurate to identify most of Tracts D and E as open space unless the applicant can identify the recreational uses of these entire areas. The recreation areas appear to be those identified as Landscape Tracts A and B on the Landscape Plan.

36. Sheet C-200: Provide consistency in table for Recreation Area total.

|  |                                   |
|--|-----------------------------------|
| RECREATION AREA (5% OF THE TOTAL AREA) | 0.684 AC REQUIRED, 1.258 PROVIDED |
|--|-----------------------------------|

| TRACT AREAS                  |                       |            |
|------------------------------|-----------------------|------------|
| TRACT                        | AREA                  | PERCENTAGE |
| TRACT A - DRY POND 1         | 53,804 SF - 1.235 AC  | 9.03%      |
| TRACT B - DRY POND 2         | 24,612 SF - 0.565 AC  | 4.13%      |
| TRACT C - DRY POND 3         | 19,416 SF - 0.446 AC  | 3.26%      |
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| TOTAL PROPERTY               | 595,996 SF - 13.68 AC | 100.00%    |
| TOTAL POND AREA              | 110,062 SF - 2.527 AC | 18.47%     |
| TOTAL RECREATION AREA        | 54,964 SF - 1.262 AC  | 9.22%      |

More importantly, revise the useable recreation area in both these tables if necessary based on comment 35.

37. Sheet C-200: As stated in the DP comments, is the intention to place the required street trees within the 10 feet wide portion of the utility easement on the front of the lots? If the trees will be placed outside the easement, there no longer appears to be sufficient area for a canopy tree given the building can be situated ten (10) feet from the easement, the porch five (5) feet from the easement, and some front yards are occupied by a transformer box. The intention of Development Agreement Item 5.p.iii (a) is “to achieve the intention of a tree line street in the community.” Please provide an explanation and/or demonstrate how this will be accomplished. Options to remedy this include, but are likely not limited to, placing the easement in the rear of the lots, burying the utilities proposed within this easement much deeper than typical, or moving the house further from the road (not at the minimum front setback).

38. Sheet C-200: Identify the “Lot Trees” as “Rear Lot Trees” per the Development Agreement and note that the minimum caliper of 2 inches for the rear lot trees and the “Street Trees” to be 3 inch caliper.

NOTES:

1. MINIMUM DRIVEWAY WIDTH: 18' (PAVERS)
2. MINIMUM LOT SIZE: 6,000 SF
3. PRIVATE ROAD AND STORMWATER MANAGEMENT SYSTEM TO BE OWNED AND MAINTAINED BY THE HOA
4. STREET TREES WILL NOT BE LOCATED WITHIN THE RIGHT OF WAY TRACT  
 STREET TREES: 1 SHADE TREE 7'-0" FROM SIDEWALK PER LOT  
 LOT TREES: 1 SHADE TREE PER LOT

39. Sheet C-409: It would be beneficial to specify the 6 feet high chain link fence around the lift station is have top wires turned in given the proximity to the recreation area.
40. Have the Construction Drawings been submitted to Orange County for analysis of Holden Avenue improvements: *Matthew Kalus, PSM, PE, Chief Engineer, Development Engineering Division, Public Works Department?*
41. Finally, any change that is made to the Development Plan needs to be reflected in the Construction documents in the re-submittal.

ESH





1117 East Robinson St.  
Orlando, FL 32801  
Phone: 407.425.0452  
Fax: 407.648.1036

January 26, 2022

Ms. Sandy Riffle, CMC, CBTO  
Deputy City Clerk  
City of Edgewood  
405 Bagshaw Way  
Edgewood, FL 32809-3406

**RE: Haven Oaks (aka Holden Avenue) – Construction Plan Review  
CPH Project No. E7601**

Dear Ms. Riffle;

We are in receipt of the re-submittal of the construction plans, received January 18, 2022, for the above listed project. The submittal package included the construction plans, an arbor plan, landscape and hardscape plans, floor plan elevations, and a development plan. We did not receive a response letter and an updated Stormwater Report. Is the storm report from the previous submittal still accurate?

Please see our plan review comments below.

1. Sheet C-000 – the legal description on this sheet does not match the legal description provided on the Boundary Survey. Please correct.
2. Sheet C-000 – the Engineer’s Certification needs to be for compliance with City of Edgewood, Orange County, and Orlando Utilities Commission regulations and not FDOT standards.
3. Sheet C-001 – General Notes #12 – it is recommended that this note read as follows: F.S. 556 requires contractors to contact Sunshine 811 prior to any demolition or excavation “Florida Law (F.S. 556) Underground Facility Damage Prevention and Safety Act mandates that excavators/contractors shall contact Sunshine 811 (fka: Sunshine State One-Call of Florida) by calling 800-432-4770 or 811 at least 2 full business days prior to beginning any excavation or demolition to allow member operators an opportunity to identify and mark their underground facilities and appropriately response to the Positive Response System.”
4. Sheet C-001 – Contractor’s Notes #11 should also require the contractor to prepare an MOT plan for review and approval by Orange County for work in the Holden Avenue ROW.
5. Sheet C-001 – Erosion Control Notes should be located on the SWPPP plan sheets and duplicates eliminated with the notes shown on those plan sheets.
6. Plans need to specify if the on-site system is private or owned by the County. It is not clear on the plans. Sheet C-001 – Utility Notes #1 references on-site privately-owned utilities (water and Wastewater). Are the water and wastewater facilities within the development to be privately or publicly owned? If they are to be owned by either OCU or OUC, then they shall be designed and constructed in accordance with their respective standards and specifications. And by making this reference many of the Utility Notes can be deleted as the OCU and OUC standards and specifications will govern.



7. Sheet C-001 – Utility Notes #2B can be deleted as there are no facilities proposed to be constructed after the meter service and before the sewer lateral. **Or, the note may be revised to reference the service from the water meter for each lot to the home or club house.**
8. Resolved.
9. Is still not clear if the lift station is private or owned by Orange County. The note references “...(including pump station if applicable).” Sheet C-001 – Utility Notes #15 references privately owned and maintained lift stations. Is the wastewater system to be privately owned and maintained by the developer/HOA or publicly owned and maintained by OCU?
10. Sheet C-001 – Fire Notes #2, #3, and #8 do not apply and can be deleted as no private fire protection systems are being constructed as a part of this project. **See also, new comments at end of letter.**
11. Sheet C102 – Demolition Notes #3 should read as follows: “Florida Law (F.S. 556) Underground Facility Damage Prevention and Safety Act mandates that excavators/contractors shall contact Sunshine 811 (fka: Sunshine State One-Call of Florida) by calling 800-432-4770 or 811 at least 2 full business days prior to beginning any excavation or demolition to allow member operators an opportunity to identify and mark their underground facilities and appropriately response to the Positive Response System.”
12. Sheet C-200 – in the General Site Data the provider of Fire Protection is Orange County Fire & Rescue not Orange County Utilities.
13. Sheet C-201 – Holden Avenue has a white stripe on the outside edge of the pavement. Add outside lane line.
14. Sheet C-201 – in the PSP plans lot #1 is a 50 foot wide lot. On this sheet it is shown as being 61.48. So is the PSP correct or the Construction Plans? If the lot is only 50 feet wide and the lot would be considered a corner lot and will need to meet the setback requirements on two sides. Will this lot be large enough for a home to fit? The corner lot, side setback is 15 feet. That leaves 30 feet of width upon which to build.
15. Resolved.
16. Sheet C-203 – the Accessible Parking Sign Detail should include a “Van Accessible” sign.
17. Sheet C-203 – the FDC post indicator valve detail can be deleted as there are no private fire systems in this project nor shown on the plans.
18. Sheet C-203 – why is there a Pond Driveway Access Detail, when the Driveway Approaches detail should be used? The Pond Access Detail may be removed from the plans.
19. Sheet C-203 – where does the Sidewalk Grass Interface Detail apply on this development, when the Street A Typical Section will apply?
20. Resolved.
21. Sheet C-300 – the natural slope of the land prior to development may have been to the east and significant rainfall runoff probably did not discharge onto the neighboring property, but how can this development provide a point discharge at the property line to allow the Pond #1 overflow the dump water onto the neighboring property? Need to provide more detail of the outfall and spreader swale.
22. Sheet C-301 – insufficient spot elevations all along the south property line. In most areas, it appears the runoff from lots 22, 23, 24 and the tot lot will drain south off-site and not be



- collected in the adjacent storm water pond. The grading plan is not sufficient. Provide site specific cross section for the three lots and any proposed swale along the rear of the lots.
23. Sheet C-301 – Pond #2 is to have an overflow weir that ultimately discharges water off-site to the west and into the neighboring development's pond. Has this concept been approved by the adjacent development and if so why not hard pipe with an overflow box?
  24. Sheet C-302 and C-303 – show the soil boring locations in each pond.
  25. Resolved. The rear of the lots have been revised to drain to the front of the lot. The rear yard drain pipes have been removed.
  26. Sheet C-303 – is pond #4 proposed to have a discharge?
  27. Sheet C-303 – the weir for pond #2 as shown should refer to sheet C-305 for details. The same comment applies for the weir at pond #1
  28. Sheet C-305 – Outfall Structure CS-1 was not shown on the plans. It is mislabeled on sheet C-302. All outfall callouts have been removed from the plans. Add back.
  29. Sheet C-305 - The outfall structures have been replaced with concrete flumes. They require a skimmer across the front of the flume. The fiberglass skimmers should be attached and braced with stainless steel screws, bolts, angles, etc.
  30. Sheet C-305 – Grading and Drainage Notes #22 should read as follows: “Florida Law (F.S. 556) Underground Facility Damage Prevention and Safety Act mandates that excavators/contractors shall contact Sunshine 811 (fka: Sunshine State One-Call of Florida) by calling 800-432-4770 or 811 at least 2 full business days prior to beginning any excavation or demolition to allow member operators an opportunity to identify and mark their underground facilities and appropriately response to the Positive Response System.”
  31. Resolved. Sheet C-306 has been removed from the set. Sheet C-306 – the Pond Driveway Access Detail is a repeat of the same detail on sheet C-203.
  32. Resolved.
  33. Sheet C-306 – provide cross sections of each pond showing the elevations for the various storm events, seasonal high groundwater, and 1.0 feet of freeboard for each pond. Also show the location of the littoral zone as referenced in the storm report.
  34. Sheet C-400 – the wet tap on the water main does not require a plug valve.
  35. Resolved.
  36. Sheet C-401 – sanitary manhole S-8 is the lift station wet well. Revise to call out “lift station” not manhole.
  37. Sheet C-403 – sanitary manhole S-8 is the lift station wet well and needs to be shown correctly.
  38. Sheet C-404 – OCU Details A104-2, A302-1 and A306-1 need to be added and A303 can be substituted for the Typical Manhole Plan detail shown.
  39. Sheet C-405 is missing, as second copy of C-406 is shown in its place. The sheets have different details.
  40. Resolved. Sheet C-407 removed from set.
  41. Sheet C-407 – the installation of lateral connection can be deleted as it will covered in OCU detail A306-1.



42. Sheet C-407 – the Flow Channel Detail – Sanitary Sewers can be deleted as it will be covered by OCU detail A303. Flow detail is also on Sheet C-404 and is not the County detail. Both can be removed and add the OCU detail.
43. Sheet C407 the OCU General Notes need to be updated with the OCU detail GN. Notes are dated 2011. Are these the most current OCU notes?
44. Sheet C407 – the Restrained Pipe Table Water and Reclaimed Water Mains should be replaced with the appropriate table from the OUC standard details. The notes are dated 2011. Are these the most current details?
45. Sheet C-408 – details A124, A201-1, and A121-1 can be deleted as they apply to potable water and the potable water is being supplied by OUC.
46. Sheet C-410 – detail A420 can be deleted as these facilities are to be owned by OCU.
47. Sheet C-411 – the ABS pump data needs to be provided in detail A402-1.
48. Sheet C-411 – the finished grade at the pump station needs to be provided in detail, A402-1.
49. Sheet C-001 – Fire Note #4 – Where are the public and private fire hydrants located within the site? Based on the plans, all fire hydrants are to be installed per OCFR requirements.
50. Sheet C-001 – Fire Note #9 – does this note apply to this project? Where is the proposed Hose House? Revise accordingly.
51. Sheet C-302 – For Typical Wall Section, how will Pond #3 discharge if the wall is imbedded in the ground and the ground is sloped back towards the pond? Also need to see this info in the storm calculations to verify the pond stage/discharge.
52. Sheet C-302 – How will Pond #2 discharge if the wall extends all along the west property line?
53. Sheet C-303 – missing call out for outfall structure for Pond #2. Same for Pond #1 on sheet C-302.
54. Sheet C-305 – concrete flume detail is not drawn correctly. The concrete wings on each side of the flume are shown to be constructed to a point with a concrete thickness going to 0' in thickness. Should be minimum 4 inches.
55. Sheet C-305 – pond outfall flumes are missing skimmers. Add skimmer to detail. Skimmer to be minimum 6-inches below bottom of outfall and 6-inches above peak stage in pond.
56. Please provide a copy of the comments from OCU, OUC, and OCPW.

Boundary Survey: The only survey received was with the PSP submittal in November 2021.

57. The title reference is to SODO Holden Avenue but the property is owned by Bavaria Holding LLC per the Orange County Property Appraiser web site. Also, the Developer and Applicant have been asked by the City and staff to not reference "SODO" in any portion of the plans. This should also include the survey.
58. The survey datum is not listed.
59. On sheet 1 the survey is listed for Toll Brothers and on sheet 2 it is listed as for Thornton Properties. Please correct and resubmit.

Drainage Report:

60. Page 20 of the report – PPV Required – the calculations indicate no littoral zone is provided. A residence time of 21 days is proposed. The same page also references that if no littoral zone is provided, an additional 50 percent of the PPV will be provided. The provided PPV is



less than 150% of the required PPV. The same page also states a littoral zone is provided. Please clarify this page of the report.

61. Page 21 of the report – the Pond volume, Weir and TOB do not match the details for the outfall structure for Pond 1.
62. Page 39 of the report – the Node Diagram indicates Post-Basin 8 discharges to the same outfall as Dry Pond 2. These two appear to be separate basins and not connected.
63. Page 49 of the report – Weir Link 2 Pond 2 Overflow – the Max Depth in the model is 1.40 feet. Based on the plans, the depth is 0.75 feet to top of berm from invert of weir.
64. Page 53 of the report – Drop Structure CS-2 – the pipe length is shown as 165 LF. Per the plans, the length of pipe from CS-2 to CS-3 is 133 LF. From CS-3 to Pond 1 is 32 LF. There is a separate entry for CS-3. The 32 LF of pipe is counted twice from CS-2 to Pond 1. Revise the Drop Structure CS-2 to end at CS-3.
65. Dependent upon the revision for the PPV required based on the design of a littoral zone, this may impact the orifice and weir elevation for structure CS-1.

The submittal did not include the Geotechnical Report, Environmental Assessment Report, Lighting Layout Design. The last storm water report received was with the November 2021 submittal. Are these still valid?

This completes our review of the plan sheets. Please have the applicant provide a response letter and cloud all changes on the plans.

Please be reminded, final approval of the application by the City of Edgewood does not grant authority to alter other portions of this property, nor does it waive any permits that may be required by Federal, State, or County agencies which may have jurisdiction.

Sincerely,  
**CPH, Inc.**

A handwritten signature in cursive script that reads "Allen C. Lane, Jr." is positioned above the typed name.

Allen C. Lane, Jr., P.E.  
Project Engineer

CC: James Winter, CPH  
File



500 West Fulton Street  
Sanford, FL 32771  
Phone: 407.322.6841  
Fax: 407.330.0639

January 25, 2022

Brett Sollazzo  
Administrative Assistant  
City of Edgewood  
405 Laure Avenue  
Edgewood, FL 32809-3406

Re: Holden Ave PD, January 13, 2022 Development Plan Exhibit by Avcon Inc.  
CPH Project # E7601- Landscape Architecture Services

After reviewing the referenced site plan, I have the following comments and or suggestions for consideration.

#### DEVELOPMENT PLAN

1. RECREATION AREA – REPEAT COMMENT: I highly recommend that the tot lot be near the pavilion, for a multitude of reasons. Nearby shelter for tots and family from pop up thunder storms, parental eyes on the tot lot from families using the pavilion, shade for parents taking their children to the tot lot, etc. There appears to be plenty of space at Rec Area 1 for combining these two uses. The proposed location for the tot lot, is an isolated space screened from the road by lot 22, causing CEPTED concerns for safety and visibility. I recommend the following options: a- Move tot lot to rec area 1 ; b- move lot 22 east of lot 43 and move shelter to Rec area 2; c – Move lot #41, east of lot #43 and move the tot lot and pavilion where lot 41 was. My preference is for “a”, since it provides the best quality space for recreation and aesthetics.
2. Drawing shows wet pond, with decorative aluminum fence, construction drawings show dry pond, without a decorative aluminum fence.
3. The crosswalks will need to be ADA accessible with detectable warning strips.
4. REPEAT COMMENT: 20 of the 43 lots (47%) are 50’ lots. This far exceeds the intent of the Developer’s Agreement.
5. REPEAT COMMENT: The swale in the Holden Avenue ROW west of the entrance drive appears to be moved further from the wall than the previous submittal. The swale east of the wall was not, and will still interfere with frontage landscaping requirements.
6. REPEAT COMMENT: The shade trees must have sufficient space to avoid damaging the houses and or the electric and communications lines. One option may be to bury the electric and communication lines a minimum of 4’ deep, so they are under future root growth. This would allow trees to be planted closer to the easement and further from the homes, without damage



to the lines from trees overturned in a storm event. Another option is to increase the building setback.

7. REPEAT COMMENT: Please provide updated lot plans with the proposed floor plans/models sited on a typical lot of each size (50,60 &70') to show the ability to meet the street shade tree requirement, now that the easement must be outside of the street ROW.

#### LANDSCAPE PLAN

1. Since there is a note on the plans, that states "the landscape plans do not necessarily correspond to the landscaping required in the Developer's Agreement", and since the tree survey does not comply with the code requirements for 130.5(b)(2)b or reflect the mitigation requirements thereof, the landscape drawing review will be postponed until the completed drawings are submitted.

Thank you for the opportunity to review this submittal. Please do not hesitate to contact me with any questions or comments.

Sincerely,

CPH, Inc.

A handwritten signature in blue ink that reads "James K. Winter".

James K. Winter RLA

Vice-President

# HOLDEN AVENUE PD - HAVEN OAKS DEVELOPMENT PLAN / PRELIMINARY SUBDIVISION PLAN

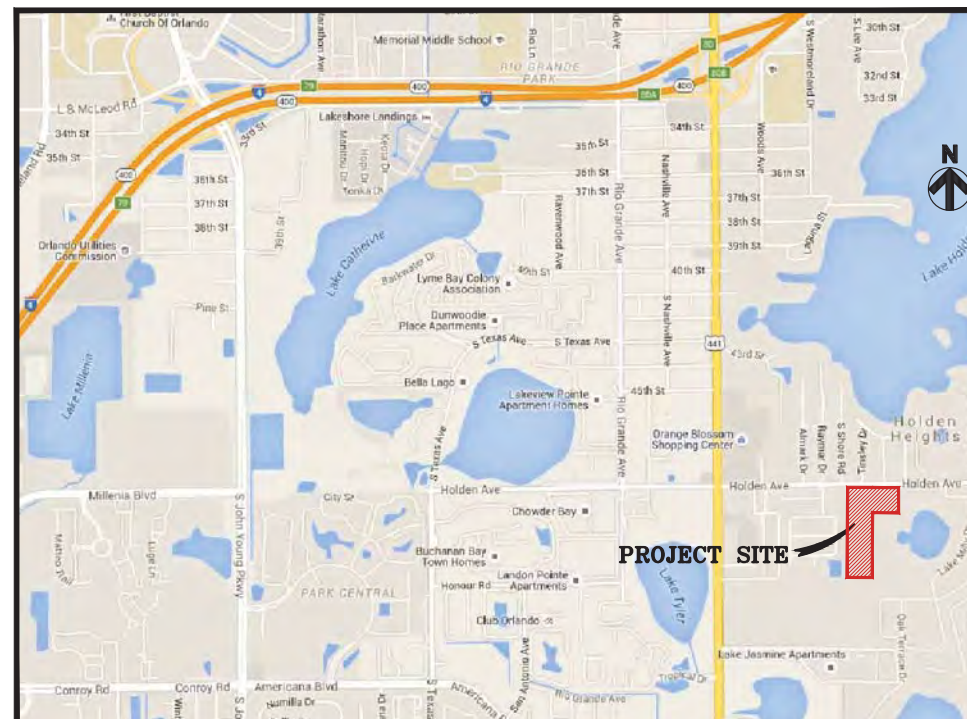
## ORLANDO, FLORIDA

PARCEL ID# 14-23-29-0000-00-004  
14-23-29-0000-00-005  
14-23-29-0000-00-062  
14-23-29-0000-00-064  
14-23-29-0000-00-063 &  
14-23-29-0000-00-042

January 13, 2022

| Sheet List Table |   |
|------------------|---|
| Sheet Number     | Sheet Title                               |
| C-000            | Cover Sheet                               |
| C-100            | Boundary Survey                           |
| C-101            | Boundary Survey                           |
| C-102            | Topographic Survey                        |
| C-200            | Project Maps                              |
| C-300            | Site & Geometry Plan                      |
| C-301            | Roadway Expansion & Driveway Plan         |
| C-302            | Vehicle Tracking Plan                     |
| C-303            | Lot Impervious Surface Ratio Calculations |
| C-304            | Tree Plan                                 |
| C-400            | Drainage Plan                             |
| C-500            | Utility Plan                              |

LOCATION MAP:



- REQUESTED WAIVERS:**
1. A WAIVER FOR EDGEWOOD CODE SECTION 126-280 TO ALLOW A CULS-DE-SAC ON A STREET EXCEEDING 500 FEET. THE WAIVER IS BEING REQUESTED AS THE CULS-DE-SAC IS THE ONLY WAY FOR THE ENTIRE PROPERTY TO BE DEVELOPED.
  2. A WAIVER FOR EDGEWOOD CODE SECTION 126-282 TO WAIVE THE REQUIREMENT FOR STREET STUB OUTS TO ADJOINING UNPLATTED AREAS. THE WAIVER IS BEING REQUESTED TO ALLOW FOR THE DEVELOPMENT TO BE GATED AND SURROUNDED BY THE ARCHITECTURAL PRECAST CONCRETE WALL.
  3. A WAIVER PER EDGEWOOD CODE SECTION 134-460(a)(9) TO ALLOW FOR A MAXIMUM IMPERVIOUS SURFACE AREA RATIO OF 70% FOR RESIDENTIAL LOTS WITHIN THE HOLDEN AVENUE PD.

**LEGAL DESCRIPTION**

LEGAL DESCRIPTION PARCEL A

THE WEST 165.00 FEET OF THE FOLLOWING TRACT: BEGINNING AT A POINT 440 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, RUN THENCE EAST 352 FEET; THENCE SOUTH 1320 FEET TO THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4; THENCE WEST ALONG THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 352 FEET; THENCE NORTH 1320 FEET TO THE POINT OF BEGINNING.

LEGAL DESCRIPTION PARCEL B

THE EAST 187.00 FEET OF THE FOLLOWING TRACT: BEGINNING AT A POINT 440 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, RUN THENCE EAST 352 FEET; THENCE SOUTH 1320 FEET TO THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4; THENCE WEST ALONG THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 352 FEET; THENCE NORTH 1320 FEET TO THE POINT OF BEGINNING.

N 380 FT OF W 100 FT OF E 526.7 FT OF NW1/4 OF NW1/4 (LESS N 30 FT RD R/W) OF SEC 14-23-29 AND

N 380 FT OF W 303 FT OF E 426.7 FT OF NW1/4 OF NW1/4 (LESS N 155 FT OF E 125 FT & LESS N 155 FT OF W 128 FT & LESS N 30 FT FOR RD) SEC 14-23-29 AND

N 155 FT OF W 125 FT OF E 248.7 FT OF NW1/4 OF NW1/4 (LESS N 30 FT RD R/W) OF SEC 14-23-29 AND

N 155 FT OF W 128 FT OF E 426.7 FT OF NW1/4 OF NW1/4 (LESS N 30 FT FOR RD R/W) OF SEC 14-23-29

TOTAL ACREAGE 13.68 ACRES MORE OR LESS

| <b>AVCON PROJECT NO.</b> |      | <b>2019.0099.15</b> |        |
|--------------------------|------|---------------------|--------|
| <b>DATE</b>              |      | <b>01/13/2022</b>   |        |
| REVISIONS                |      |                     |        |
| NO.                      | DATE | DESCRIPTION         | SHEETS |
|                          |      |                     |        |
|                          |      |                     |        |
|                          |      |                     |        |
|                          |      |                     |        |

**PROJECT TEAM**

**OWNER/APPLICANT**  
TOLL BROTHERS, INC.  
2966 COMMERCE PARK DR., SUITE 100  
ORLANDO, FL 32819

**CIVIL ENGINEER**  
AVCON, INC.  
5555 E MICHIGAN ST, SUITE 200  
ORLANDO, FL 32822  
(407) 599-1122

**SURVEYOR**  
ALLEN & COMPANY  
16 EAST PLANT STREET  
WINTER GARDEN, FL 34787  
(407) 654 - 5355

**ENVIRONMENTAL**  
BIO-TECH CONSULTING  
3025 E. SOUTH STREET  
ORLANDO, FL 32803  
(407) 894-5969

**GEOTECHNICAL**  
UNIVERSAL ENGINEERING SCIENCES  
3532 MAGGIE BLVD.  
ORLANDO, FL 32811  
(407) 423-0504

**UTILITY PROVIDERS**

|  |  |
|--|--|
| <b>SEWER</b>   | <b>WATER</b>                                       |
| ORANGE COUNTY UTILITIES (OCU)                              | ORLANDO UTILITIES COMMISSION (OUC)                 |
| 9150 CURRY FORD RD,<br>ORLANDO, FL 32825<br>(407) 836-5515 | 3800 GARDENIA AVE<br>ORLANDO, FL<br>(407) 423-9018 |



**AVCON, INC.**  
ENGINEERS & PLANNERS  
5555 East Michigan Street, Suite 200 Orlando, FL 32822-2779  
Office: (407) 599-1122 • Fax: (407) 599-1133  
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057  
www.avconinc.com

ENGINEER OF RECORD:

**RICHARD V. BALDOCCHI**  
FL P.E. #38092

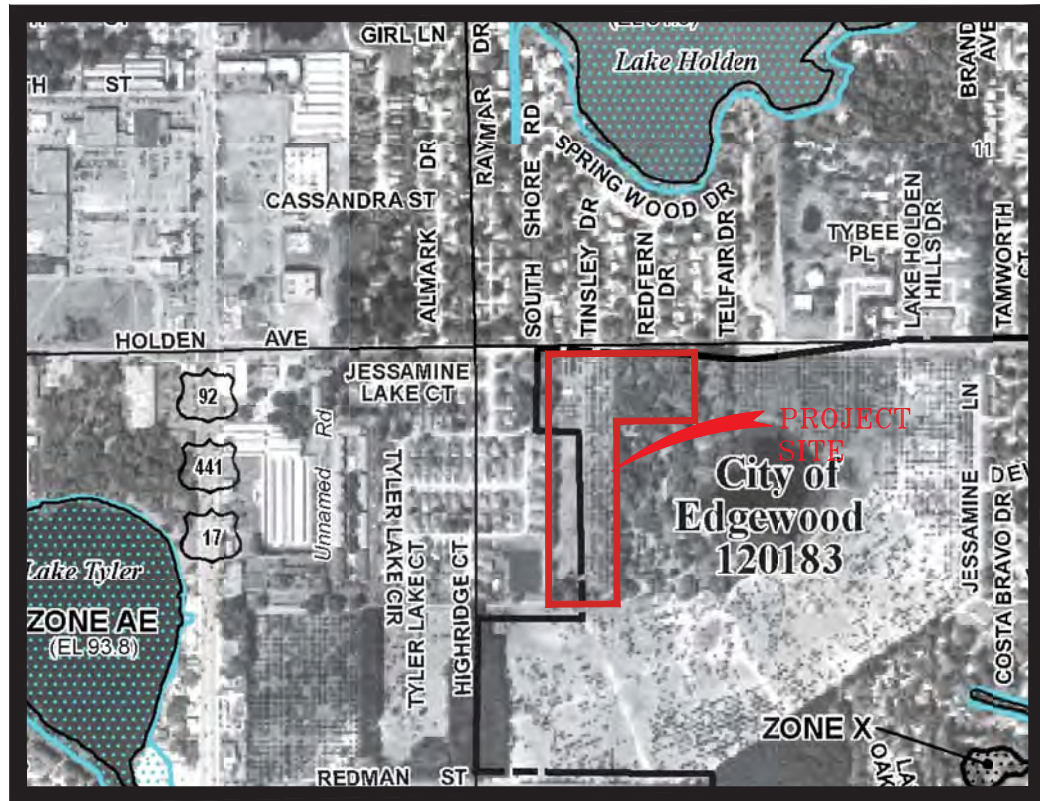




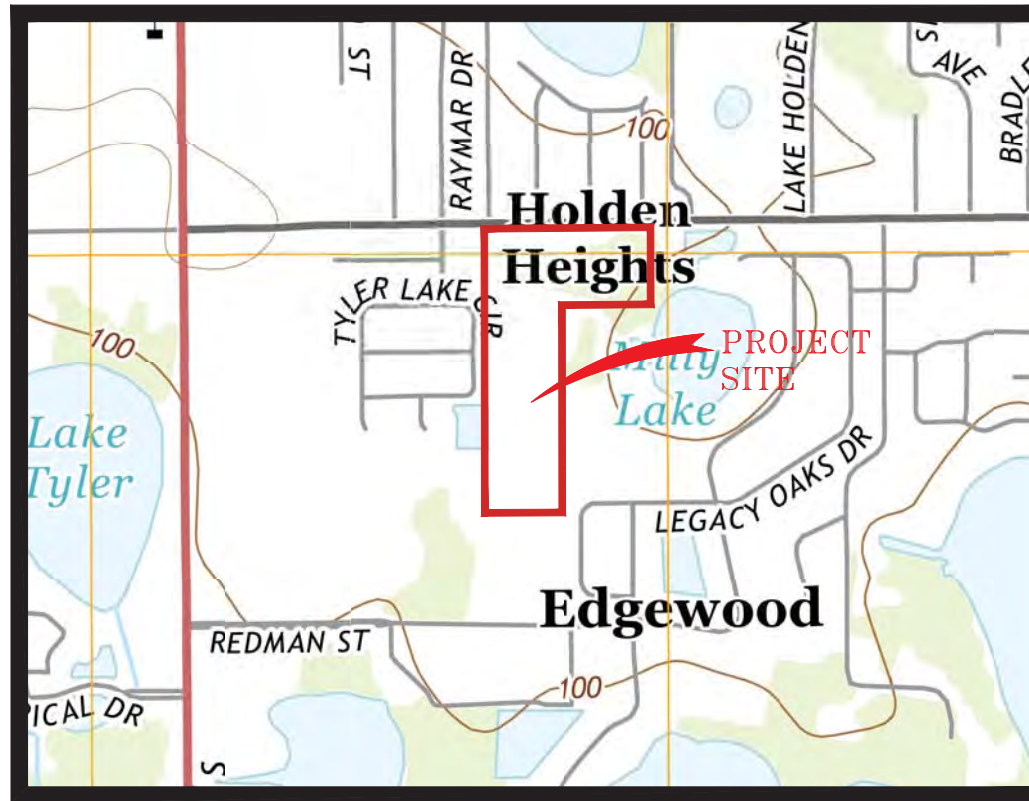




# FLOOD MAP



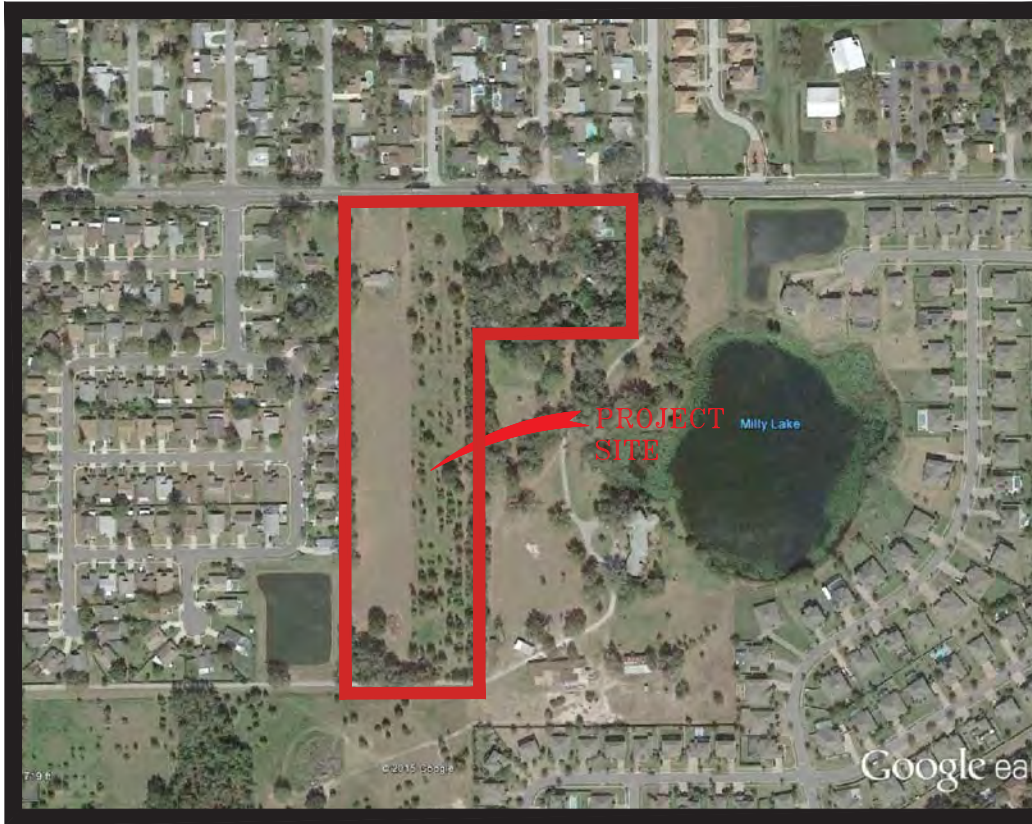
# USGS TOPO MAP



# SOILS MAP



# AERIAL MAP



## SOILS LEGEND

- 3 BASINGER FINE SAND DEPRESSIONAL, 0 TO 1 PERCENT SLOPES
- 43 SEFFNER FINE SAND, 0 TO 2 PERCENT SLOPES
- 48 TAVARES-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES
- 99 WATER

RECEIVED  
1/13/2022  
CITY OF EDGEWOOD



AVCON, INC.  
ENGINEERS & PLANNERS  
5555 E. MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822-2779  
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CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057  
www.avconinc.com

RICHARD V. BALDOCCHI  
P.E. #38092

DEVELOPMENT PLAN /  
PRELIMINARY  
SUBDIVISION PLAN

HOLDEN AVENUE PD

PROJECT MAPS

ATTENTION:

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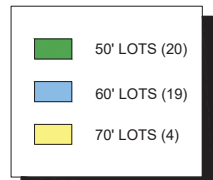
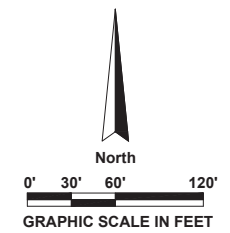
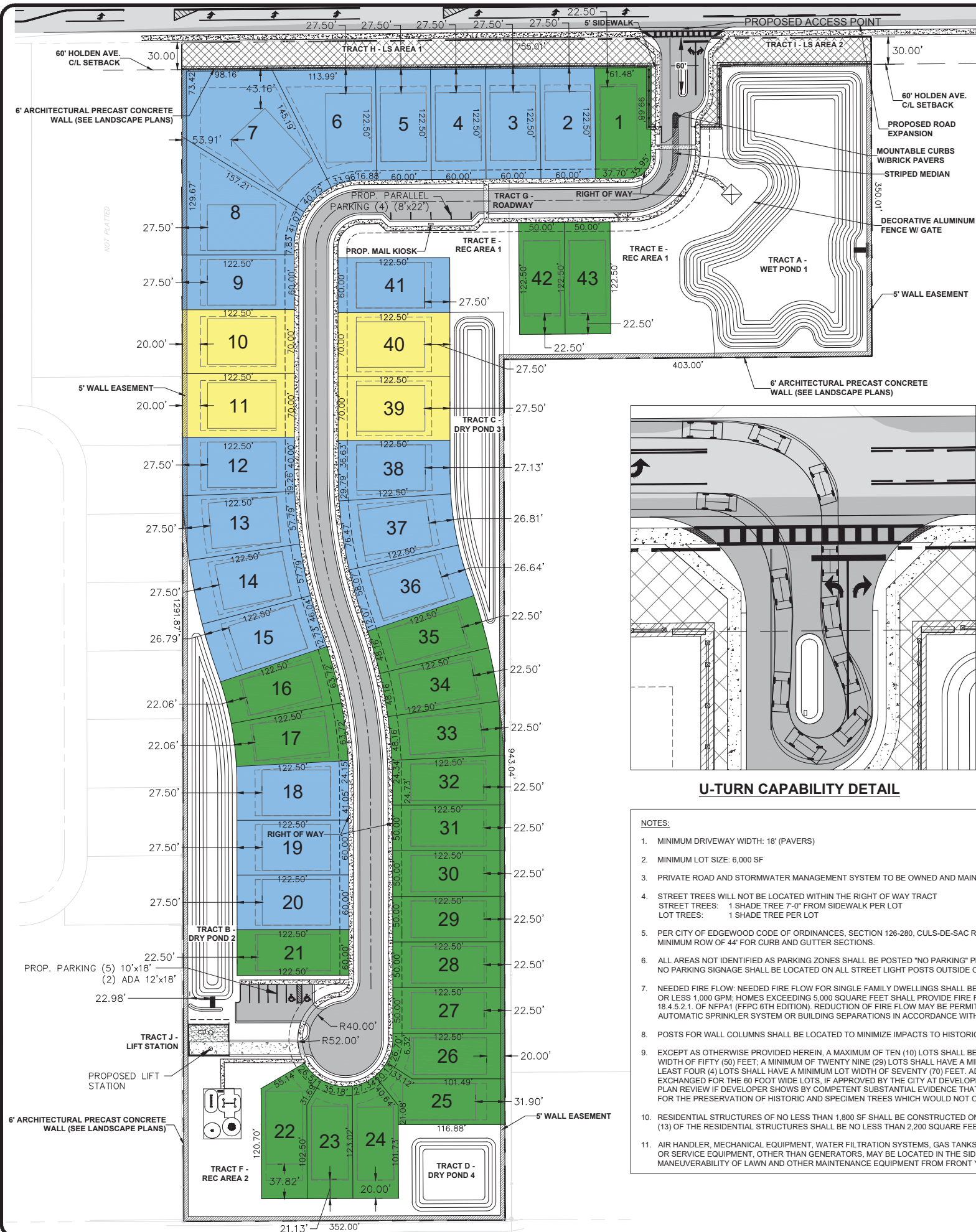
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DESIGNED BY: RVB  
DRAWN BY: BRE  
CHECKED BY: RVB  
APPROVED BY: RVB  
DATE: January 13, 2022

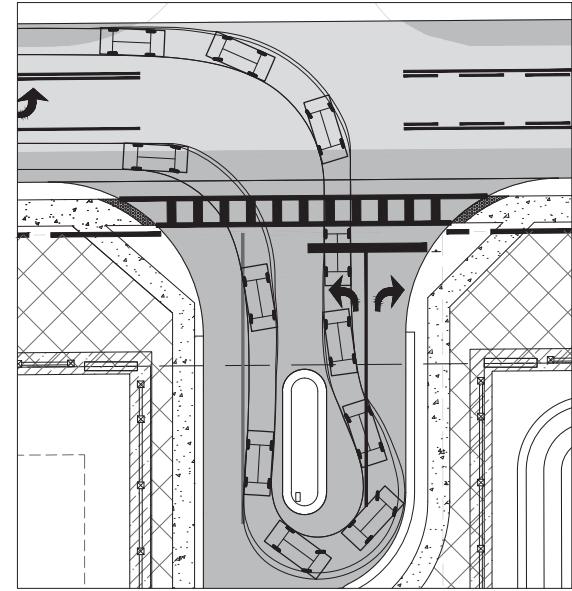
AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-200



**NO PARKING SIGNAGE**



**U-TURN CAPABILITY DETAIL**

- NOTES:**
- MINIMUM DRIVEWAY WIDTH: 18' (PAVERS)
  - MINIMUM LOT SIZE: 6,000 SF
  - PRIVATE ROAD AND STORMWATER MANAGEMENT SYSTEM TO BE OWNED AND MAINTAINED BY THE HOA
  - STREET TREES WILL NOT BE LOCATED WITHIN THE RIGHT OF WAY TRACT  
STREET TREES: 1 SHADE TREE 7'-0" FROM SIDEWALK PER LOT  
LOT TREES: 1 SHADE TREE PER LOT
  - PER CITY OF EDGEWOOD CODE OF ORDINANCES, SECTION 126-280, CULS-DE-SAC REQUIRES A MINIMUM RADIUS OF 34' AND A MINIMUM ROW OF 44' FOR CURB AND GUTTER SECTIONS.
  - ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 NFPA 1 (FFPC 6TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
  - NEEDED FIRE FLOW: NEEDED FIRE FLOW FOR SINGLE FAMILY DWELLINGS SHALL BE AS FOLLOWS: HOMES 5,000 SQUARE FEET OR LESS 1,000 GPM; HOMES EXCEEDING 5,000 SQUARE FEET SHALL PROVIDE FIRE FLOW IN ACCORDANCE WITH TABLE 18.4.5.2.1 OF NFPA 1 (FFPC 6TH EDITION). REDUCTION OF FIRE FLOW MAY BE PERMITTED IF DWELLING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM OR BUILDING SEPARATIONS IN ACCORDANCE WITH TABLE 14.4.5.1.4 (FFPC 6TH EDITION).
  - POSTS FOR WALL COLUMNS SHALL BE LOCATED TO MINIMIZE IMPACTS TO HISTORIC TREE ROOTS.
  - EXCEPT AS OTHERWISE PROVIDED HEREIN, A MAXIMUM OF TEN (10) LOTS SHALL BE ALLOWED TO HAVE A MINIMUM LOT WIDTH OF FIFTY (50) FEET; A MINIMUM OF TWENTY NINE (29) LOTS SHALL HAVE A MINIMUM LOT WIDTH OF SIXTY (60) FEET; AT LEAST FOUR (4) LOTS SHALL HAVE A MINIMUM LOT WIDTH OF SEVENTY (70) FEET. ADDITIONAL FIFTY-FOOT WIDE LOTS MAY BE EXCHANGED FOR THE 60 FOOT WIDE LOTS, IF APPROVED BY THE CITY AT DEVELOPMENT PLAN/PRELIMINARY SUBDIVISION PLAN REVIEW IF DEVELOPER SHOWS BY COMPETENT SUBSTANTIAL EVIDENCE THAT THE REDUCTION OF LOT SIZE ALLOWS FOR THE PRESERVATION OF HISTORIC AND SPECIMEN TREES WHICH WOULD NOT OTHERWISE HAVE BEEN PRESERVED
  - RESIDENTIAL STRUCTURES OF NO LESS THAN 1,800 SF SHALL BE CONSTRUCTED ON THE SUBJECT PROPERTY AND THIRTEEN (13) OF THE RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN 2,200 SQUARE FEET UNDER A/C
  - AIR HANDLER, MECHANICAL EQUIPMENT, WATER FILTRATION SYSTEMS, GAS TANKS, PROPANE TANKS, AND OTHER UTILITY OR SERVICE EQUIPMENT, OTHER THAN GENERATORS, MAY BE LOCATED IN THE SIDE YARD SETBACKS PROVIDED THE MANEUVERABILITY OF LAWN AND OTHER MAINTENANCE EQUIPMENT FROM FRONT YARD TO REAR YARD IS MAINTAINED

| GENERAL SITE DATA   |  |
|---|--|
| PARCEL ID#  | 14-23-29-0000-00-004<br>14-23-29-0000-00-005<br>14-23-29-0000-00-062<br>14-23-29-0000-00-064<br>14-23-29-0000-00-063 &<br>14-23-29-0000-00-042 |
| ZONING  | PD   |
| EXISTING USE  | VACANT / SINGLE FAMILY HOME  |
| JURISDICTION  | CITY OF EDGEWOOD   |
| FUTURE LAND USE   | LOW DENSITY RESIDENTIAL (LDR)  |
| DEVELOPABLE AREA  | 13.68 ACRES  |
| LOT DENSITY   | 3.14 DU/AC (MAX 4 DU/AC)   |
| PROPOSED DEVELOPMENT (SINGLE FAMILY)                              | 43 LOTS (SINGLE PHASE)   |
| MINIMUM LIVING AREA   | 1,800 SF MINIMUM. 13 OF THE RESIDENTIAL STRUCTURES SHALL BE NO LESS THAN 2200 SF   |
| NET UNITS PER ACRE  | 3.14 UNITS PER ACRE  |
| MIN. LOT SIZE   | 6,000 SF   |
| MIN. LOT WIDTH  | 50' (FRONT SETBACK LINE)   |
| MAXIMUM BUILDING HEIGHT   | 35' TWO STORY  |
| MAXIMUM BUILDING LOT COVERAGE                                     | 70% FOR 50' AND 60' LOTS, 63% FOR 70' LOTS   |
| OPEN SPACE REQUIREMENT  | 40% (46.63% PROVIDED)  |
| RECREATION AREA (5% OF THE TOTAL AREA)                            | 0.775 AC REQUIRED, 1.258 PROVIDED  |
| PROJECTED STUDENT POPULATION (43 DWELLING UNITS X 0.431 STUDENTS) | 19 STUDENTS  |
| ITE AVERAGE DAILY TRIPS (43 LOTS X 9.52 ADT)                      | 409.4 ADT (ITE CODE 210)   |
| OCU POTABLE WATER SERVICE (43 LOTS X 275 GPD)                     | 11,825 GPD (8.21 GPM)  |
| FIRE PROTECTION ORANGE COUNTY PUBLIC UTILITIES                    | 1000 GPM   |
| OCU SANITARY SEWER SERVICE (43 LOTS X 300 GPD)                    | 12,900 GPD (8.96 GPM)  |
| STORMWATER  | STORMWATER FACILITY ON SITE  |
| PHASING SCHEDULE  | PROJECT TO BE CONSTRUCTED IN ONE PHASE   |
| MODEL HOMES   | 5 ALLOWED  |

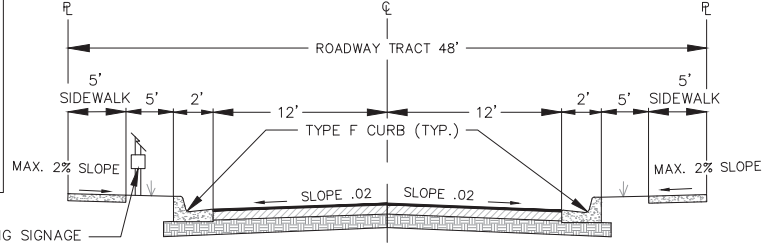
| SETBACKS                             |   |
|--------------------------------------|---|
| FRONT LOT                            | 20' HOUSE, 23' GARAGE, 15' PORCH<br>35' FOR LOT 6                                 |
| SIDE LOT                             | 5' for 50' & 60' lots - 7.5' for 70' lots   |
| REAR LOT                             | 20' BUILDING, 5' SCREEN ENCLOSURE   |
| URBAN MINOR ARTERIAL - HOLDEN AVENUE | 60' FROM CENTERLINE   |
| CORNER LOT SIDE STREET SETBACK       | 15'-0"  |
| POOLS                                | 5' (50' & 60' LOTS) OR 7.5' (70' LOTS)<br>INTERIOR SIDE, 10' SIDE STREET, 5' REAR |
| POOL ENCLOSURES                      | 5' (50' & 60' LOTS) OR 7.5' (70' LOTS)<br>INTERIOR SIDE, 10' SIDE STREET, 5' REAR |

THE LISTED POOL, POOL ENCLOSURE, AND SCREEN ENCLOSURE SETBACKS MAY APPLY IF APPROVED BY ORANGE COUNTY TRAFFIC ENGINEERING/TRANSPORTATION PLANNING

ROW SETBACK APPLIES TO ACCESSORY STRUCTURES IN ADDITION TO POOLS AND SCREEN ENCLOSURES WITHIN THE ROW SETBACK

| TRACT AREAS                  |                       |            |
|------------------------------|-----------------------|------------|
| TRACT                        | AREA                  | PERCENTAGE |
| TRACT A - WET POND 1         | 54,067 SF - 1.241 AC  | 9.07%      |
| TRACT B - DRY POND 2         | 24,612 SF - 0.565 AC  | 4.13%      |
| TRACT C - DRY POND 3         | 19,416 SF - 0.446 AC  | 3.26%      |
| TRACT D - DRY POND 4         | 12,230 SF - 0.281 AC  | 2.05%      |
| TRACT E - RECREATION AREA 1  | 35,159 SF - 0.807 AC  | 5.90%      |
| TRACT F - RECREATION AREA 2  | 19,653 SF - 0.451 AC  | 3.30%      |
| TRACT G - ROADWAY            | 87,376 SF - 2.006 AC  | 14.66%     |
| TRACT H - LANDSCAPE AREA 1   | 15,722 SF - 0.361 AC  | 2.64%      |
| TRACT I - LANDSCAPE AREA 2   | 5,703 SF - 0.131 AC   | 0.96%      |
| TRACT J - LIFT STATION TRACT | 1,575 SF - 0.036 AC   | 0.26%      |
| TOTAL PROPERTY               | 595,996 SF - 13.68 AC | 100.00%    |
| TOTAL POND AREA              | 110,325 SF - 2.533 AC | 18.51%     |
| TOTAL RECREATION AREA        | 54,812 SF - 1.258 AC  | 9.20%      |

| OCPS STUDENT GENERATION RATES |       |
|-------------------------------|-------|
| ELEMENTARY                    | 0.196 |
| MIDDLE                        | 0.100 |
| HIGH                          | 0.134 |
| TOTAL                         | 0.431 |



**STREET A TYPICAL SECTION (NTS)**

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1/13/2022  
CITY OF EDGEWOOD



RICHARD V. BALDOCCHI  
P.E. #38092

**DEVELOPMENT PLAN /  
PRELIMINARY  
SUBDIVISION PLAN**

HOLDEN AVENUE PD

**SITE & GEOMETRY PLAN**

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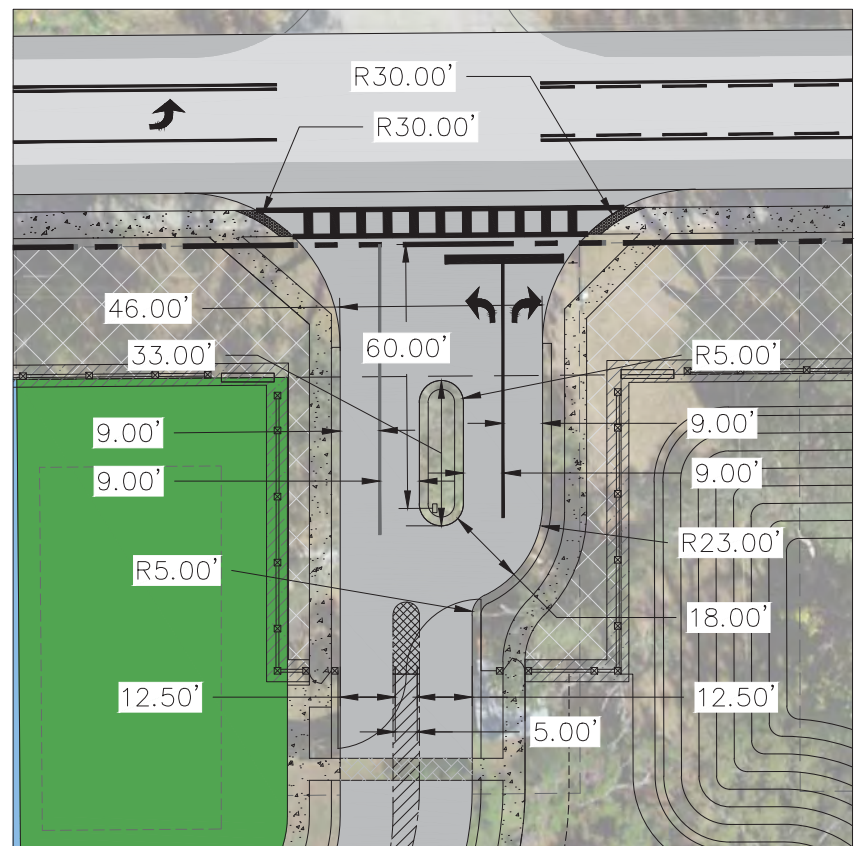
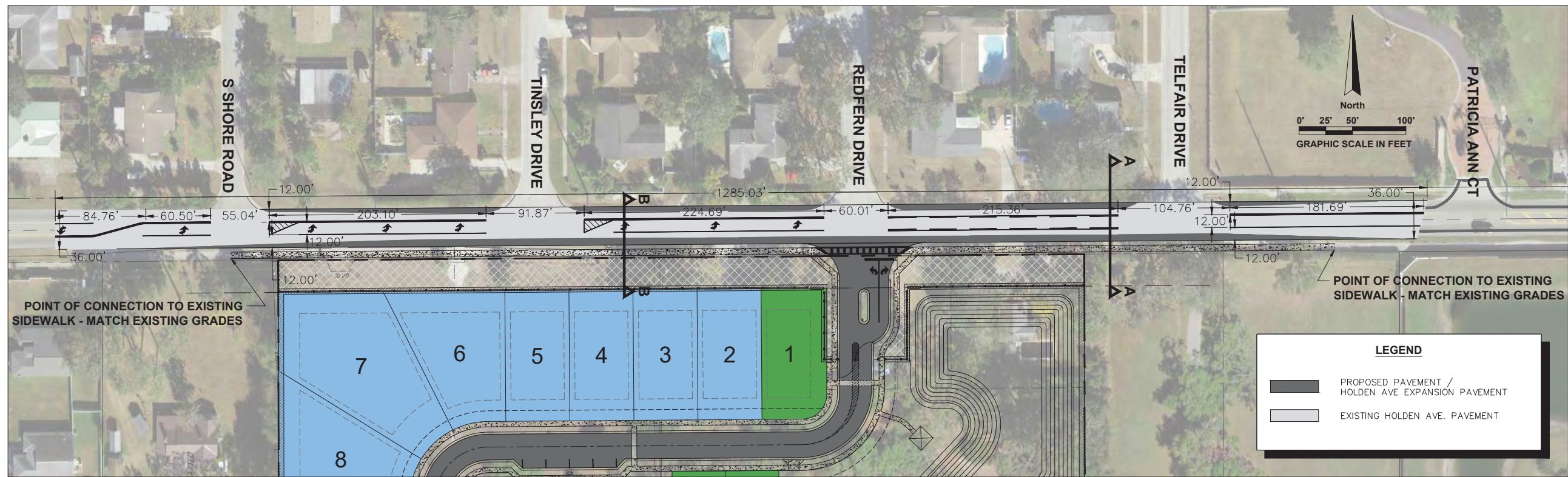
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DESIGNED BY: RVB  
DRAWN BY: BRE  
CHECKED BY: RVB  
APPROVED BY: RVB  
DATE: January 13, 2022

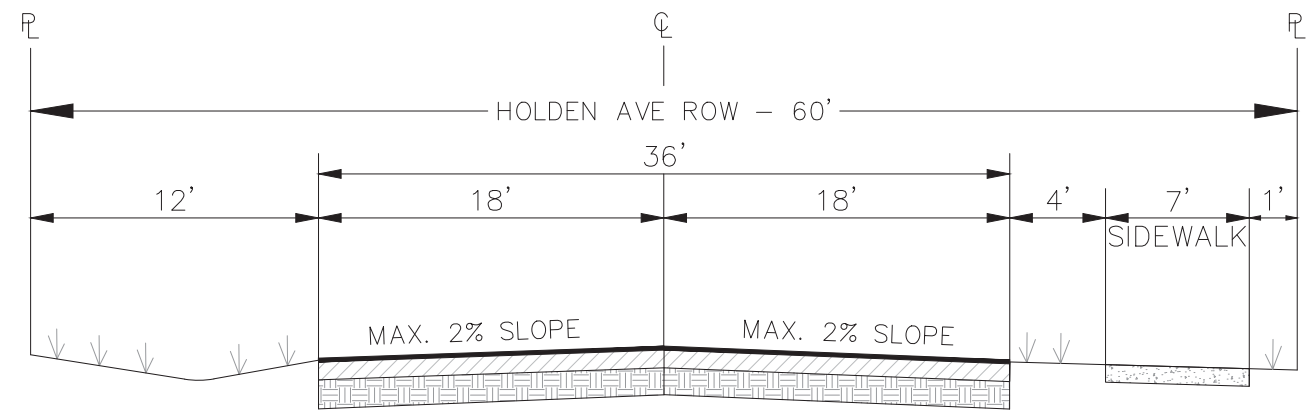
AVCON PROJECT No. 2019.0099.15

**SHEET NUMBER**

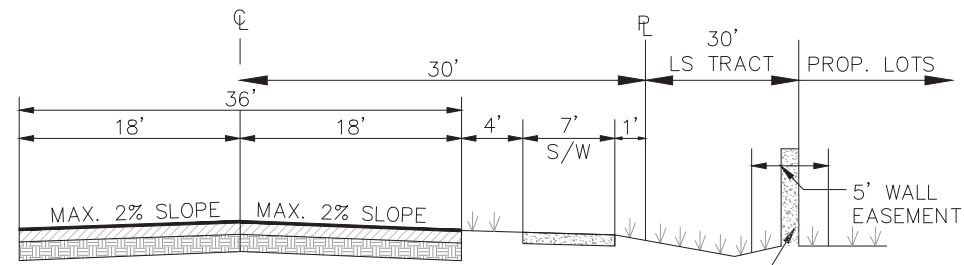
**C-300**



**ENTRANCE DIMENSIONS**  
1" : 20'

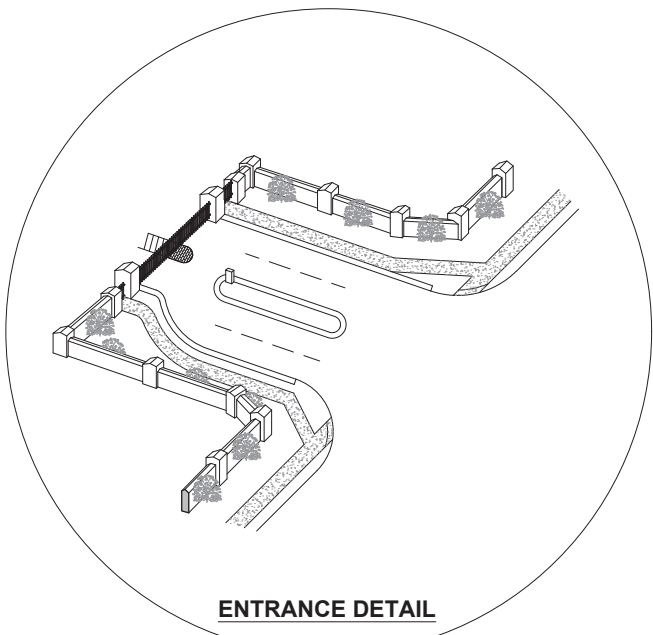


**SECTION A-A**  
N.T.S



**SECTION B-B**  
N.T.S

6' ARCHITECTURAL PRECAST CONCRETE WALL (SEE LS PLANS FOR DETAILS)



**ENTRANCE DETAIL**

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RICHARD V. BALDOCCHI  
P.E. #38092

**DEVELOPMENT PLAN /  
PRELIMINARY  
SUBDIVISION PLAN**

HOLDEN AVENUE PD

**ROADWAY EXPANSION  
& DRIVEWAY PLAN**

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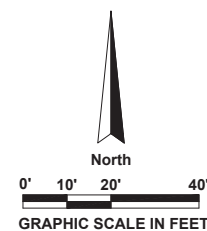
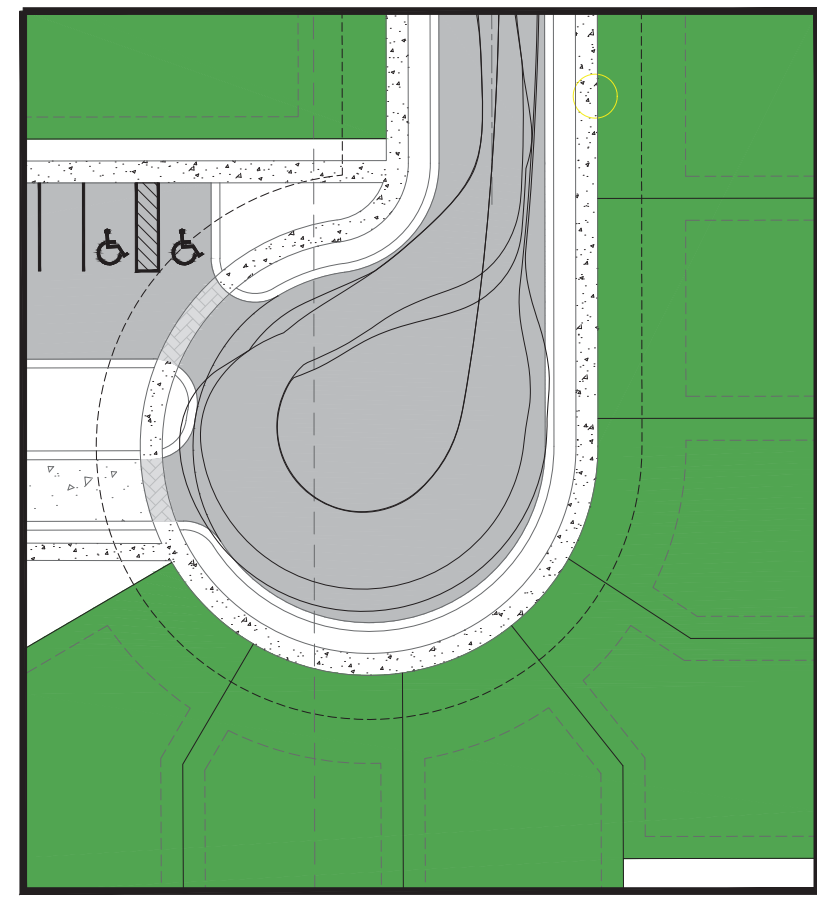
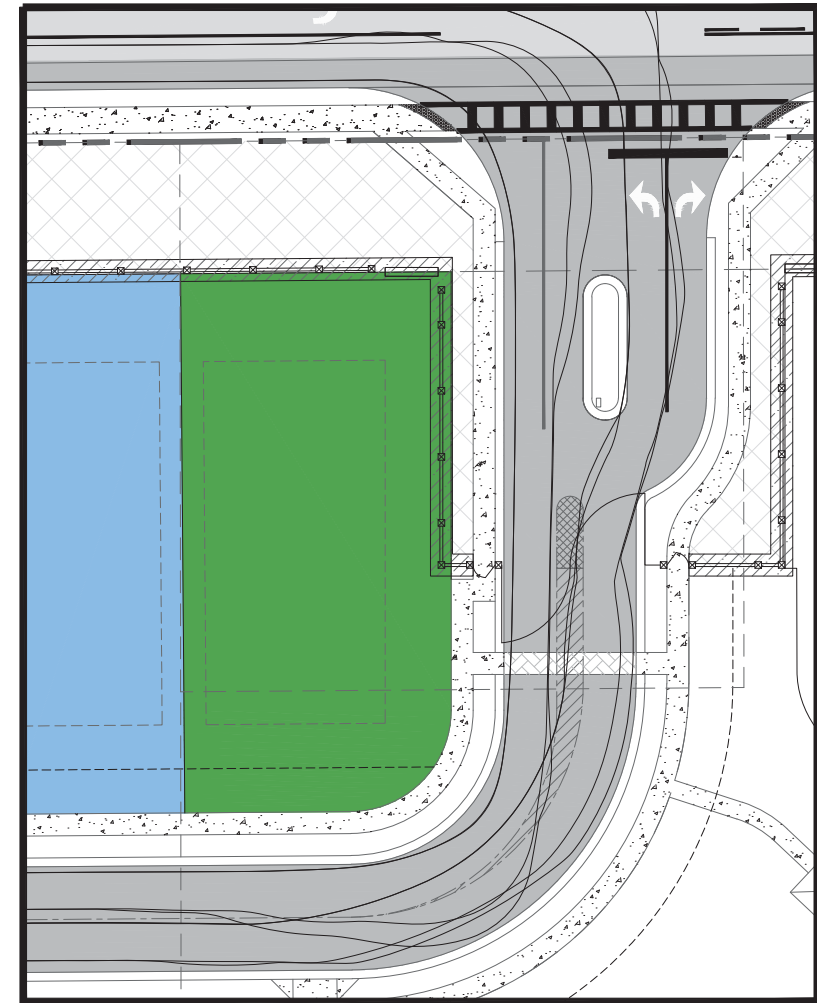
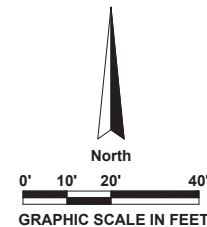
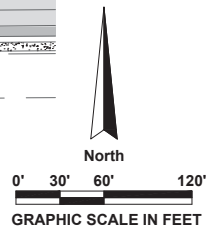
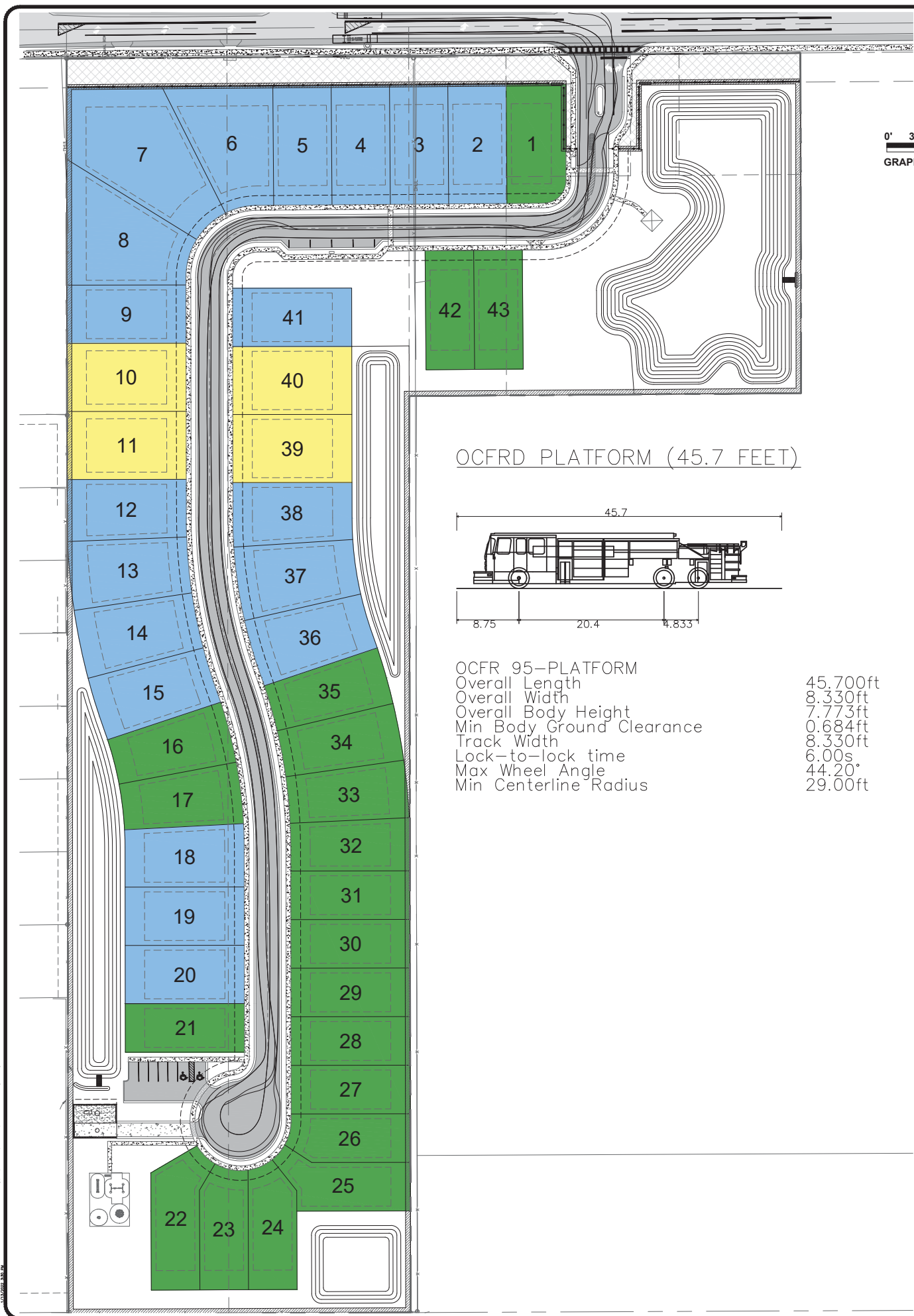
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**C-301**



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 OFFICE: (407) 599-1122 - FAX: (407) 599-1133  
 CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057  
 www.avconinc.com

RICHARD V. BALDOCCHI  
 P.E. #38092

DEVELOPMENT PLAN /  
 PRELIMINARY  
 SUBDIVISION PLAN  
 HOLDEN AVENUE PD

VEHICLE TRACKING  
 PLAN

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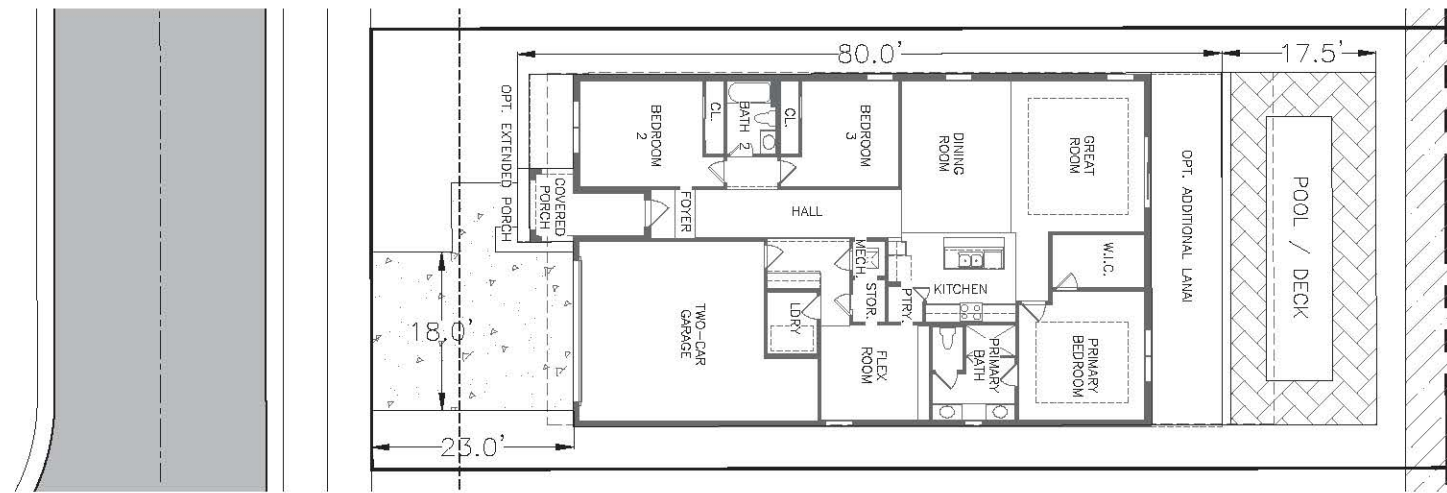
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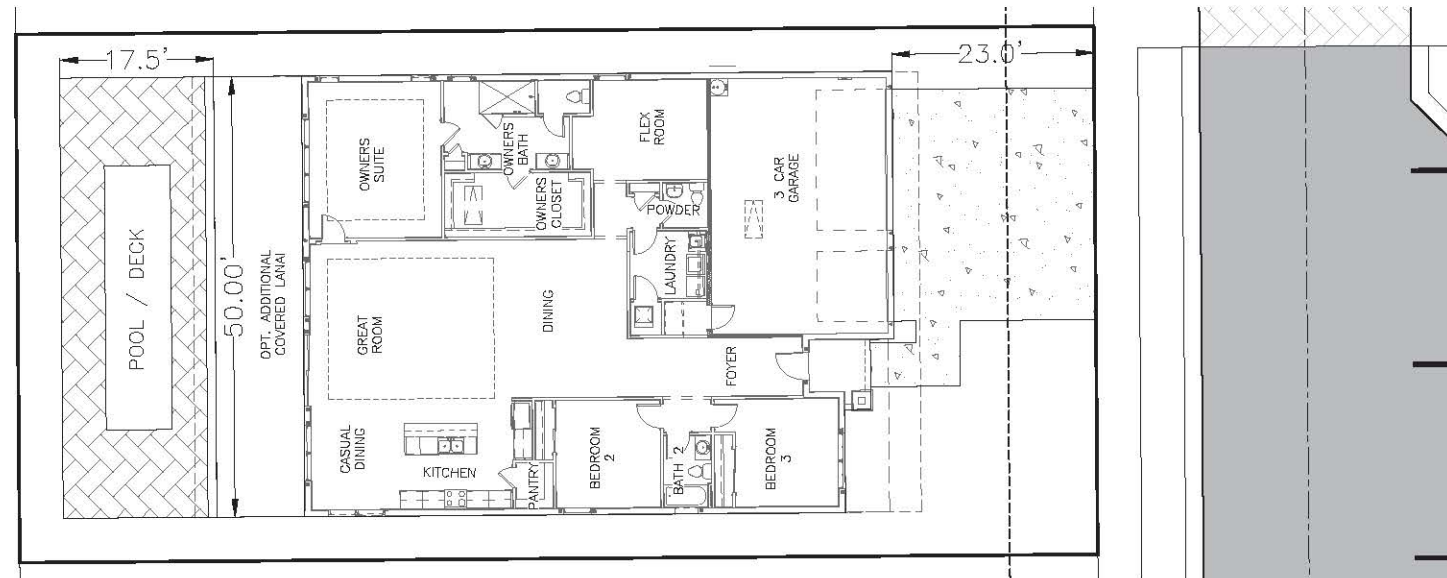
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 CHECKED BY: RVB  
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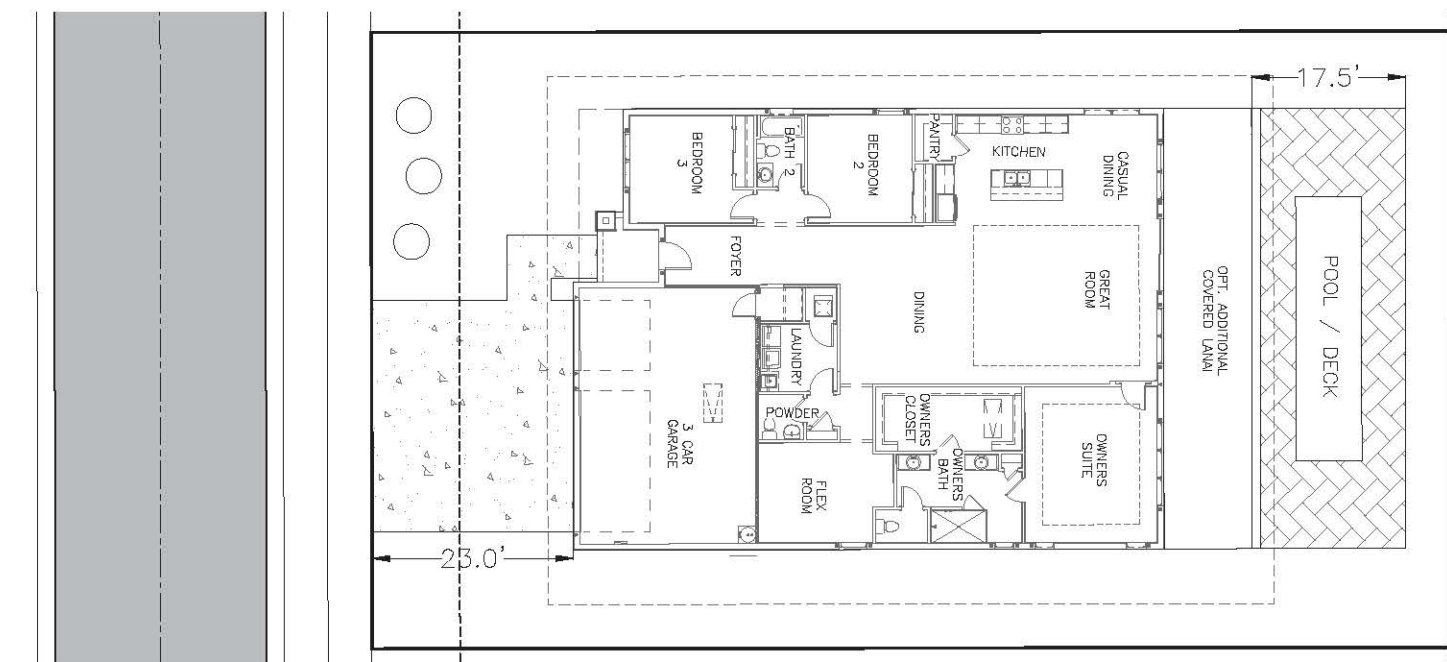
SHEET NUMBER  
**C-302**  
 Page 30 of 111



50' LOT - BRIDGTON (TYP.)  
 LOT SIZE: 50' x 122.5' = 6,125 SF  
 BUILDING + DRIVEWAY ~ 3,134 SF  
 BUILDING/DRIVEWAY IMPERVIOUS %: 51.17%  
 BUILDING + DRIVEWAY + LANAI + EXTENDED PORCH ~ 3,518 SF  
 BUILDING/DRIVEWAY/LANAI IMPERVIOUS % = 57.44%  
 POOL (40'X17.5'): 700 SF  
 WITH POOL: 4,218 SF = 68.87%  
 PER CODE, 50% OF POOL AS IMPERVIOUS AREA = 3,868 SF = 63.15%  
 MAX. ALLOWABLE: 70%



60' LOT - SANDERLING (TYP.)  
 LOT SIZE: 60' x 122.5' = 7,350 SF  
 BUILDING + DRIVEWAY ~ 3,894 SF  
 TYPICAL BUILDING/DRIVEWAY IMPERVIOUS %: 52.98%  
 BUILDING + DRIVEWAY + LANAI ~ 4,394 SF  
 BUILDING/DRIVEWAY/LANAI IMPERVIOUS % = 59.78%  
 POOL (50'X17.5'): 875 SF  
 WITH POOL: 5,269 SF = 71.69%  
 PER CODE, 50% OF POOL AS IMPERVIOUS AREA = 4,832 SF = 65.74%  
 MAX. ALLOWABLE: 70%



70' LOT - SANDERLING (TYP.)  
 LOT SIZE: 70' x 122.5' = 8,575 SF  
 BUILDING + DRIVEWAY ~ 3,894 SF  
 TYPICAL BUILDING/DRIVEWAY IMPERVIOUS %: 45.41%  
 BUILDING + DRIVEWAY + LANAI ~ 4,394 SF  
 BUILDING/DRIVEWAY/LANAI IMPERVIOUS % = 51.24%  
 POOL (50'X17.5'): 875 SF  
 WITH POOL: 5,269 SF = 61.45%  
 PER CODE, 50% OF POOL AS IMPERVIOUS AREA = 4,832 SF = 56.35%  
 MAX. ALLOWABLE: 63%

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 OFFICE: (407) 599-1122 - FAX: (407) 599-1133  
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RICHARD V. BALDOCCHI  
 P.E. #38092

DEVELOPMENT PLAN /  
 PRELIMINARY  
 SUBDIVISION PLAN

HOLDEN AVENUE PD

LOT IMPERVIOUS  
 SURFACE RATIO  
 CALCULATIONS

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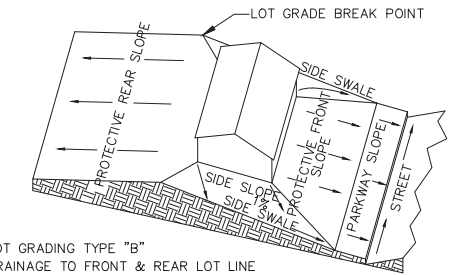
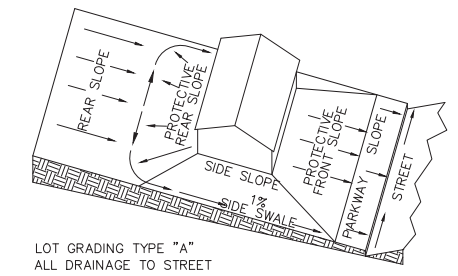
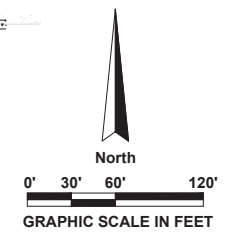
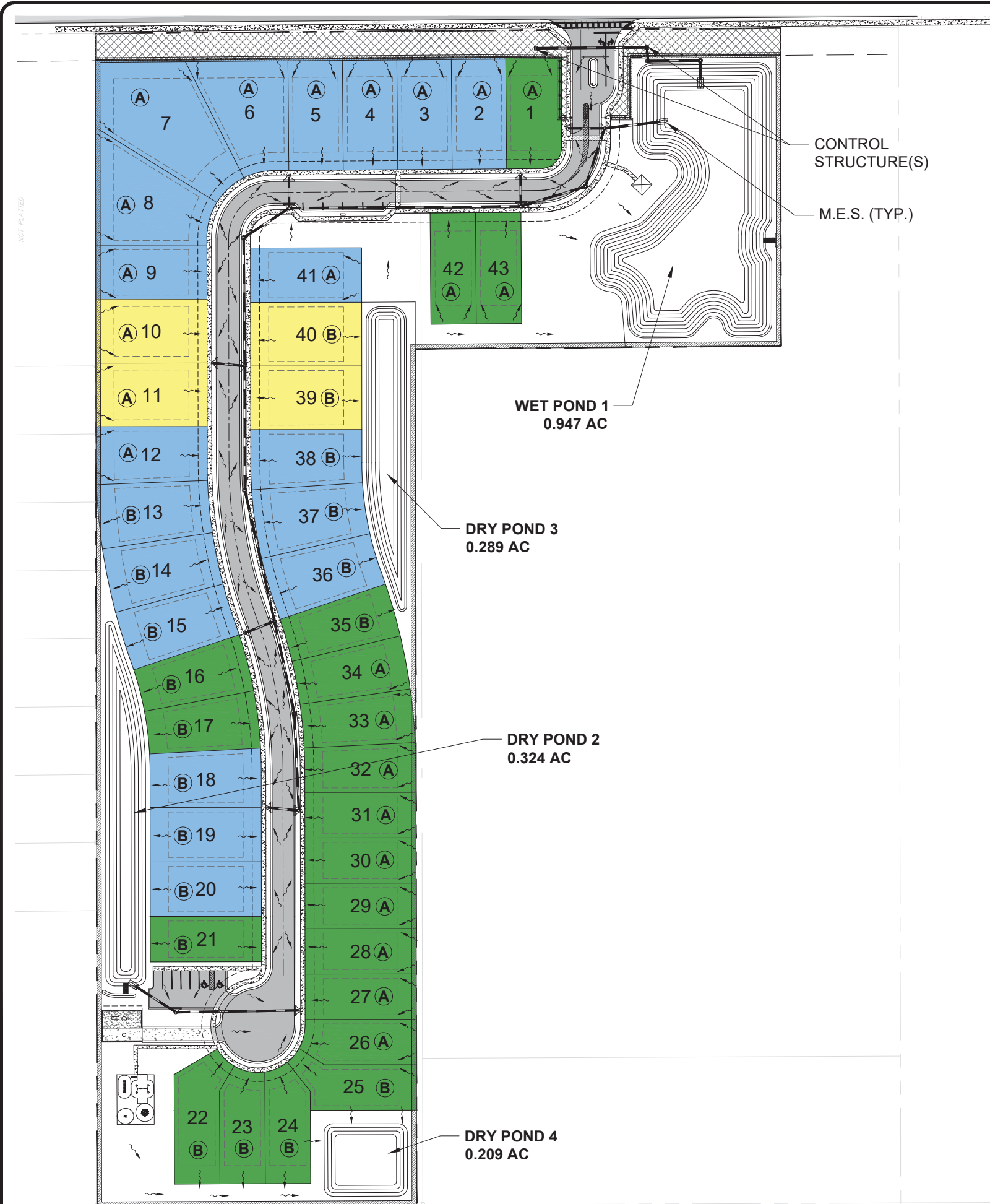
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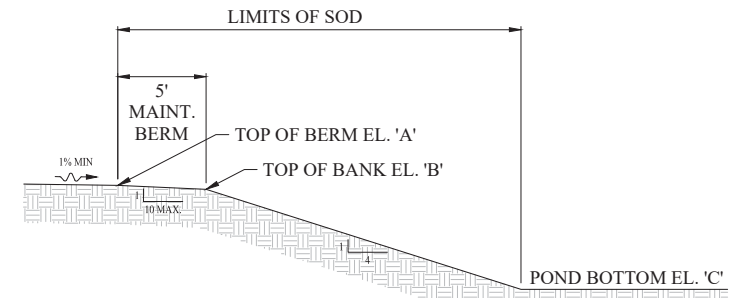
C-303



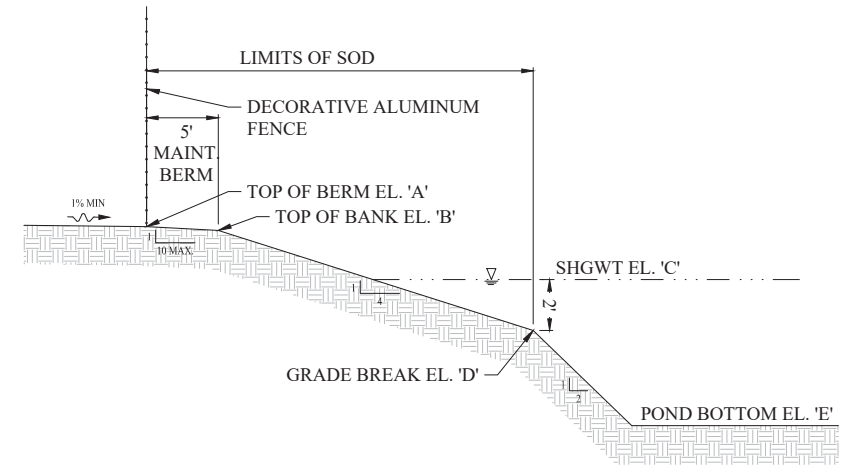




TYPICAL LOT GRADING  
N.T.S.



TYPICAL DRY POND GRADING SECTION  
N.T.S.



TYPICAL WET POND GRADING SECTION  
N.T.S.

NOTES:  
ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM CROSS SLOPE. ALL SIDEWALKS ARE NOT TO EXCEED 5.00% LONGITUDINAL SLOPE, EXCEPT AT CURB RAMPS OR UNLESS OTHERWISE SHOWN. ALL HANDICAP PARKING SPACES ARE NOT TO EXCEED 2.00% LONGITUDINAL SLOPE.

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RICHARD V. BALDOCCHI  
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DEVELOPMENT PLAN /  
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DRAINAGE PLAN

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C-400



# HAVEN OAKS CONSTRUCTION PLANS

PARCEL ID#s: 14-23-29-0000-00-004,  
14-23-29-0000-00-005, 14-23-29-0000-00-042,  
14-23-29-0000-00-062, 14-23-29-0000-00-063,  
14-23-29-0000-00-064

ORLANDO, FLORIDA 32839  
2022-01-13

### LEGAL DESCRIPTION

#### LEGAL DESCRIPTION PARCEL A

THE WEST 165.00 FEET OF THE FOLLOWING TRACT: BEGINNING AT A POINT 440 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, RUN THENCE EAST 352 FEET; THENCE SOUTH 1320 FEET TO THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4; THENCE WEST ALONG THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 352 FEET; THENCE NORTH 1320 FEET TO THE POINT OF BEGINNING.

#### LEGAL DESCRIPTION PARCEL B

THE EAST 187.00 FEET OF THE FOLLOWING TRACT: BEGINNING AT A POINT 440 FEET EAST OF THE NORTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 23 SOUTH, RANGE 29 EAST, RUN THENCE EAST 352 FEET; THENCE SOUTH 1320 FEET TO THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4; THENCE WEST ALONG THE SOUTH LINE OF THE SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 352 FEET; THENCE NORTH 1320 FEET TO THE POINT OF BEGINNING.

N 380 FT OF W 100 FT OF E 526.7 FT OF NW1/4 OF NW1/4 (LESS N 30 FT RD R/W) OF SEC 14-23-29 AND

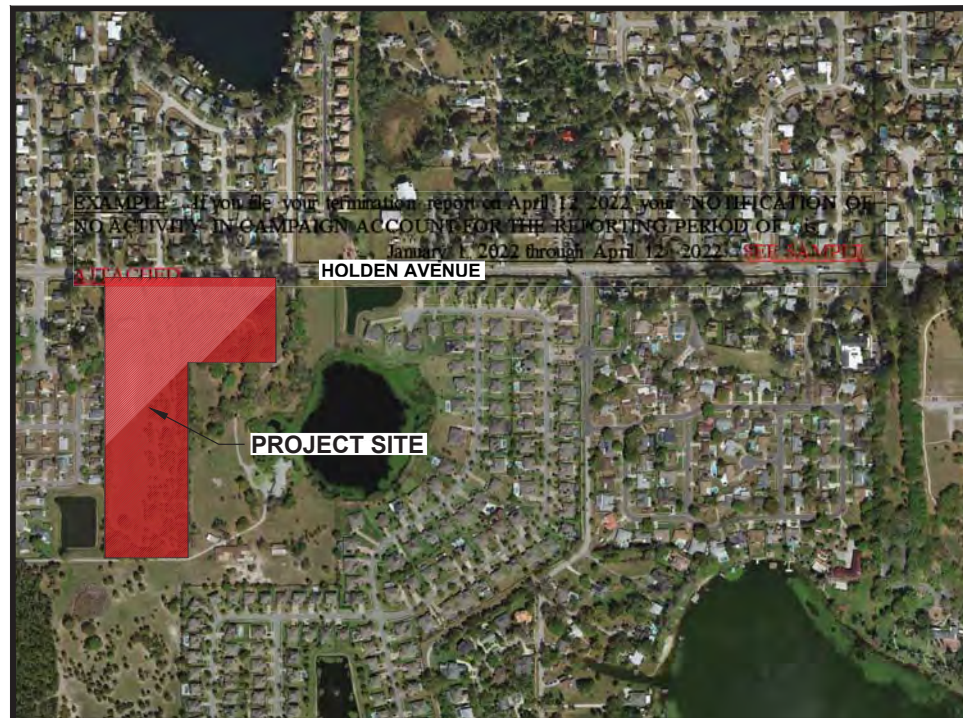
N 380 FT OF W 303 FT OF E 426.7 FT OF NW1/4 OF NW1/4 (LESS N 155 FT OF E 125 FT & LESS N 155 FT OF W 128 FT & LESS N 30 FT FOR RD) SEC 14-23-29 AND

N 155 FT OF W 125 FT OF E 248.7 FT OF NW1/4 OF NW1/4 (LESS N 30 FT RD R/W) OF SEC 14-23-29 AND

N 155 FT OF W 128 FT OF E 426.7 FT OF NW1/4 OF NW1/4 (LESS N 30 FT FOR RD R/W) OF SEC 14-23-29

TOTAL ACREAGE 13.68 ACRES MORE OR LESS

### LOCATION MAP:



### PROJECT TEAM

**OWNER/APPLICANT**  
TOLL BROTHERS, INC.  
2966 COMMERCE PARK DR., SUITE 100  
ORLANDO, FL 32819

**CIVIL ENGINEER**  
AVCON, INC.  
5555 E MICHIGAN ST, SUITE 200  
ORLANDO, FL 32822  
(407) 599-1122

**SURVEYOR**  
ALLEN & COMPANY  
16 EAST PLANT STREET  
WINTER GARDEN, FL 34787  
(407) 654 - 5355

**ENVIRONMENTAL**  
BIO-TECH CONSULTING  
3025 E. SOUTH STREET  
ORLANDO, FL 32803  
(407) 894-5969

**GEOTECHNICAL**  
UNIVERSAL ENGINEERING SCIENCES  
3532 MAGGIE BLVD.  
ORLANDO, FL 32811  
(407) 423-0504

### UTILITY PROVIDERS

#### WATER

ORLANDO UTILITIES COMMISSION  
100 W ANDERSON ST  
ORLANDO, FLORIDA 32801

#### SEWER/WASTEWATER

ORANGE COUNTY UTILITIES  
9150 CURRY FORD RD.  
ORLANDO, FLORIDA 32825

| AVCON PROJECT NO. |      | 2019.0099.15 |        |
|-------------------|------|--------------|--------|
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ENGINEERS & PLANNERS  
5555 East Michigan Street, Suite 200 Orlando, FL 32822-2779  
Office: (407) 599-1122 Mobile: (407) 599-1133  
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 587  
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#### ENGINEER'S CERTIFICATION

CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, FDOT GREEN BOOK AND THE OC REGULATIONS AND SPECIFICATIONS.

#### ENGINEER OF RECORD:

RICHARD V. BALDOCCHI, P.E.  
FL P.E. #38092

### Sheet List Table

| Sheet Number | Sheet Title                             |
|--------------|---|
| C-000        | Cover Sheet                             |
| C-001        | General Notes                           |
| C-100        | Demolition & Erosion Control Plan North |
| C-101        | Demolition & Erosion Control Plan South |
| C-102        | Demolition & Erosion Control Notes      |
| C-200        | Overall Site Plan                       |
| C-201        | Geometry & Striping Plan North          |
| C-202        | Geometry & Striping Plan South          |
| C-203        | Civil Details 1                         |
| C-300        | Grading Plan North                      |
| C-301        | Grading Plan South                      |
| C-302        | Drainage Plan North                     |
| C-303        | Drainage Plan South                     |
| C-304        | Grading & Drainage Details 1            |
| C-305        | Grading & Drainage Details 2            |
| C-400        | Utility Plan North                      |
| C-401        | Utility Plan South                      |
| C-402        | Profile Plan 1                          |
| C-403        | Profile Plan 2                          |
| C-404        | Utility Details 1                       |
| C-405        | Utility Details 2                       |
| C-406        | Utility Details 3                       |
| C-407        | Utility Details 4                       |
| C-408        | Utility Details 5                       |
| C-409        | Utility Details 6                       |
| C-410        | Utility Details 7                       |
| C-411        | Lift Station & Details Plan             |
| C-500        | Holden Avenue Improvements              |

GENERAL NOTES

- 1. PER THE FEMA FLOOD INSURANCE RATE MAP (FIRM), THE SITE IS CLASSIFIED AS FLOOD ZONES X ON MAP PANEL NUMBER 1209500410F, DATED SEPTEMBER 25, 2009.
2. THE HORIZONTAL AND VERTICAL LAYOUT OF THIS PROJECT IS DESIGNED BASED ON THE TOPOGRAPHIC SURVEY PREPARED BY ESE CONSULTANTS
THE VERTICAL DATUM FOR WHICH ALL ELEVATIONS ARE IN REFERENCE TO, UNLESS OTHERWISE NOTED, IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), BASED ON ORANGE COUNTY BENCHMARK NUMBER 'CS99002', ELEVATION 105.60' AND CITY OF ORLANDO BENCHMARK 'BM 16-030', ELEVATION 104.79'

GRADING AND DRAINAGE NOTES

- 1. PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, CONTRACTOR SHALL TAKE ALL NECESSARY AND PRACTICAL MEASURES TO ENSURE THAT UNAUTHORIZED ACCESS TO THE EXCAVATION IS PREVENTED.
2. ALL GRADING AND SITE PREPARATION SHALL CONFORM TO SPECIFICATIONS CONTAINED IN THE CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF EDGEWOOD REQUIREMENTS.
5. ALL OPEN DRAINAGE SWALES SHALL BE SODDED PER PROJECT SPECIFICATIONS.
6. ALL GRADES SHOWN, WITH THE EXCEPTION OF THOSE INDICATED ON THE SURVEY BASE DRAWING, ARE EXTERIOR FINISHED GRADES UNLESS INDICATED OTHERWISE.
7. INLET AND MANHOLE ELEVATIONS ARE TOP OF RIM.
8. ALL SIDEWALK CROSS SLOPE SHALL HAVE MAXIMUM 2% CROSS SLOPE. SIDEWALK ALONG BUILDING SHALL SLOPE AWAY FROM BUILDING AND SIDEWALK ALONG STREET SHALL SLOPE TOWARD THE STREET.
9. ALL PROPOSED PAVING SURFACES IN INTERSECTIONS AND ADJACENT EXISTING SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE PROPOSED GRADES AND FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS MAY REQUIRE MINOR LOCAL FIELD ADJUSTMENTS IF THE ACTUAL FIELD CONDITIONS VARY FROM THE SURVEYED INFORMATION THAT THE DESIGN WAS BASED UPON IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMPLISH THIS AND CONSULT THE ENGINEER AS NEEDED TO MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR OBTAIN SUPPLEMENTARY INFORMATION SHOULD THE INTENT OF THE PLANS BE UNCLEAR.
10. THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE MADE.
11. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXCESS CUT OR SUPPLYING FILL AS NEEDED TO GRADE THE SITE AS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
12. CHAPTER 858, FLORIDA STATUTES, REQUIRES EXCAVATORS TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA (SSOOCF) BEFORE BEGINNING ANY EXCAVATION IN THE STATE OF FLORIDA UNLESS A SPECIFIC EXEMPTION LISTED IN F.S. 556.106 APPLIES. AN EXCAVATOR MUST NOTIFY SSOOCF TWO FULL BUSINESS DAYS BEFORE EXCAVATING. EXCAVATORS MAY CALL 1-800-432-4770 DURING BUSINESS HOURS OR USE THE INTERNET TO PROVIDE NOTIFICATION INFORMATION.
13. CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 C.F.R., S. 926.650, SUBPART P, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY AND WITH SECTION 553.062, FLORIDA STATUTES.
14. CONTRACTOR RESPONSIBLE TO OBTAIN ALL NECESSARY APPROVALS FOR DEWATERING ACTIVITIES.
15. THE CONTRACTOR MUST MEET ALL DEWATERING CRITERIA AS REQUIRED BY ST. JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD).
16. IF DEWATERING IS REQUIRED, THE CONTRACTOR IS TO SUBMIT A DEWATERING APPLICATION PACKAGE TO SJRWMD AT LEAST 21 DAYS PRIOR TO COMMENCING WITH DEWATERING ACTIVITIES.

PIPE TRENCH/BEDDING NOTES (AVCON, INC.)

- 1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. THE TOP TWENTY-FOUR (24) INCHES OF ALL UTILITY TRENCHES WITHIN VEHICULAR TRAVEL PATHS SHALL BE PLACED IN MAXIMUM OF TWELVE (12) INCH LIFTS AND SHALL BE COMPACTED TO NINETY-EIGHT (98) PERCENT OF THE MAXIMUM DENSITY. ALL OTHER UTILITY TRENCHES SHALL BE COMPACTED TO NINETY-FIVE (95) PERCENT OF THE MAXIMUM DENSITY.
4. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK, IN ACCORDANCE WITH BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF FLOW.
7. COMMON FILL SHALL CONSIST OF MINERAL SOIL, SUBSTANTIALLY FREE OF CLAY, ORGANIC MATERIAL, MUCK, LOAM, WOOD, TRASH AND OTHER OBJECTIONABLE MATERIAL WHICH MAY BE COMPRESSIBLE OR WHICH CANNOT BE COMPACTED PROPERLY. COMMON FILL SHALL NOT CONTAIN STONES LARGER THREE AND ONE-HALF (3 1/2) INCHES IN ANY DIMENSION IN THE TOP TWELVE (12) INCHES OR SIX (6) INCHES IN ANY DIMENSION IN THE BALANCE OF FILL AREA, AND SAID COMMON FILL SHALL NOT CONTAIN ASPHALT, BROKEN CONCRETE, MASONRY, RUBBLE, OR OTHER SIMILAR MATERIALS. IT SHALL HAVE PHYSICAL PROPERTIES SUCH THAT IT CAN BE READILY SPREAD AND COMPACTED DURING FILLING. ADDITIONAL COMMON FILL SHALL BE NO MORE THAN 10 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE UNLESS FINER MATERIAL IS APPROVED FOR USE IN A SPECIFIC LOCATION BY THE ENGINEER.
8. MATERIAL FALLING WITHIN THE ABOVE SPECIFICATIONS, ENCOUNTERED DURING THE EXCAVATION MAY BE STORED IN SEGREGATED STOCKPILES FOR REUSE. ALL MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS NOT SUITABLE FOR REUSE, SHALL BE SPOILED AS SPECIFIED HEREIN FOR DISPOSAL OF UNSUITABLE MATERIALS. SELECT COMMON FILL SHALL BE AS SPECIFIED ABOVE FROM COMMON FILL, EXCEPT THAT THE MATERIAL SHALL CONTAIN NO STONES LARGER THAN 1/2 INCHES IN LARGEST DIMENSION, AND SHALL BE NO MORE THAN 5 PERCENT BY WEIGHT FINER THAN THE NO. 200 MESH SIEVE.

CONTRACTOR NOTES

- 1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS AS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA). CONTRACTOR FURTHER AGREES TO COMPLY WITH ALL STATE LAWS AND REGULATIONS PERTAINING TO JOB SITE SAFETY.
2. CONTRACTOR SHALL BE AWARE OF, AND FOLLOW, ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, BUILDING CODES, AND SAFETY CODES.
3. CONTRACTOR SHALL OBTAIN, FROM THE OWNER, COPIES OF ALL PERMITS ISSUED BY THE GOVERNING AUTHORITIES FOR THIS PROJECT. CONTRACTOR SHALL ABIDE BY ALL TERMS, CONDITIONS, REQUIREMENTS, AND LIMITATIONS CONTAINED WITHIN SAID PERMITS. A COPY OF ALL PERMITS SHALL BE KEPT ONSITE AND AVAILABLE FOR REVIEW AT ANY TIME.
4. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER REQUIRED PERMITS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
6. THE LOCATION OF EXISTING UTILITY SERVICES AND SITE IMPROVEMENTS IS BASED ON THE BEST AVAILABLE DATA DURING THE DESIGN PHASE OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
7. THE CONTRACTOR IS ADVISED THAT UNCHARTED UTILITIES MAY BE FOUND TO EXIST WITHIN THE CONSTRUCTION AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL AREAS WITHIN THE PROJECT LIMITS UNTIL THE PROJECT IS ACCEPTED BY THE OWNER.
9. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER.
10. ALL WORK PERFORMED BY THE CONTRACTOR, OR THEIR DESIGNEES, SHALL BE IN REASONABLE CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS.
11. PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTRACTOR IS RESPONSIBLE FOR PRODUCING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN AND HAVING IT APPROVED BY THE CITY OF EDGEWOOD FOR ANY LOCATIONS WHERE CONSTRUCTION CAUSES AN OBSTRUCTION TO THE NORMAL FLOW OF TRAFFIC OR POSES A THREAT, IN ANY WAY, TO THE WELL-BEING OF THE PUBLIC.
12. CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND MAINTAINING EVERYTHING REQUIRED TO EXECUTE THE M.O.T. PLAN.
13. IF THE CONTRACTOR BELIEVES THAT THERE ARE ERRORS AND/OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS, THEY SHALL CONTACT THE OWNER, OR OWNERS DESIGNEE, IMMEDIATELY.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTATION. IF EXISTING SURVEY MONUMENTATION IS DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, IT SHALL BE RESTORED BY A LICENSED FLORIDA LAND SURVEYOR, SELECTED BY THE OWNER, AT THE CONTRACTORS EXPENSE.
15. THE OWNER, OWNER'S REPRESENTATIVES AND GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT, SHALL BE GRANTED ACCESS TO THE SITE BY THE CONTRACTOR, AT ANY TIME THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL PROVIDE THE NECESSARY FACILITIES FOR SUCH ACCESS.
16. CONTRACTOR SHALL ENSURE THAT THE SITE IS SECURE FROM UNAUTHORIZED ACCESS. MEASURES TAKEN MAY INCLUDE, BUT ARE NOT LIMITED TO, PERIMETER FENCING, SIGNAGE, AND/OR SECURITY GUARDS.
17. UNTIL FINAL ACCEPTANCE BY THE OWNER, CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL COMPLETED WORK THAT MAY BE SUBJECT TO DAMAGE BY SUBSEQUENT CONSTRUCTION ACTIVITIES, INCLUDING WEATHER OR ANY OTHER CAUSE. ANY WORK THAT IS DAMAGED SHALL BE REPAIRED OR REPLACED PRIOR TO THE OWNER'S FINAL ACCEPTANCE, AT THE CONTRACTORS EXPENSE.
18. CONTRACTOR SHALL NOT PERFORM ANY WORK LOCATED BEYOND THE LIMITS OF CONSTRUCTION AS REPRESENTED IN THE CONSTRUCTION DOCUMENTS.
19. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND/OR LENGTHS OF MATERIALS DEPICTED THROUGHOUT THE CONSTRUCTION DOCUMENTS. ALL QUANTITY AND LENGTH CALL-OUTS THROUGHOUT THE CONSTRUCTION DOCUMENTS ARE MERELY FOR REFERENCE AND SHALL NOT BE USED AS CONTRACTORS BASIS OF BIDDING THE PROJECT.
20. IT IS THE ENGINEER'S INTENT TO HAVE CONSTRUCTED WHAT IS REPRESENTED ON THE ENGINEER'S PLANS. IF THE CONTRACTOR DISCOVERS A DISCREPANCY BETWEEN ANY CALL-OUT ON THE PLANS VERSUS WHAT IS SHOWN ON THE PLANS, IT SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO BIDDING THE PROJECT. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING FULLY RESPONSIBLE FOR ALL ERRORS AND NECESSARY CORRECTIONS THAT ARISE.
21. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER PRIOR TO PROCUREMENT OF MATERIALS, INCLUDING, BUT NOT LIMITED TO, CONCRETE MIX, LINEROCK AND ASPHALT CONCRETE PAVING.
22. CONTRACTOR SHALL SUBMIT COPIES OF ALL TESTING REPORTS TO THE OWNER AND ENGINEER FOR REVIEW PRIOR TO THE ENGINEER CERTIFICATION LETTERS AND ACCEPTANCE BY THE OWNER.
23. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO PERFORM CONSTRUCTION ACTIVITIES WITHIN ROW
24. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OUT ANY EXISTING PIPE AND/OR STRUCTURE TO REMAIN ON-SITE TO ENSURE PROPER OPERATION OF THE SYSTEM

EROSION CONTROL NOTES (AVCON, INC.)

- 1. ALL EROSION CONTROL MEASURES, INCLUDING SILT SCREENS AND TURBIDITY BARRIERS, MUST REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED, AND VEGETATION HAS BEEN ESTABLISHED.
2. TURBIDITY BARRIERS FOR FLOWING STREAMS AND TIDAL CREEKS MAY BE EITHER FLOATING, OR STAKED TYPES OR ANY COMBINATIONS OF TYPES THAT WILL SUIT SITE CONDITIONS AND MEET EROSION CONTROL AND WATER QUALITY REQUIREMENTS. THE BARRIER TYPE(S) WILL BE AT THE CONTRACTORS OPTION UNLESS OTHERWISE SPECIFIED IN THE PLANS. POSTS IN STAKED TURBIDITY BARRIERS TO BE INSTALLED IN VERTICAL POSITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
3. THE EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
4. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION STANDARDS.
5. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION, SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
6. SEDIMENT MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS; THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
7. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
8. AN INSPECTOR, CERTIFIED BY THE STATE OF FLORIDA OR EXPERIENCED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROLS, IS REQUIRED TO INSPECT THE EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON THE APPROVED STORMWATER POLLUTION PREVENTION PLAN. INSPECTION REPORTS ARE TO BE COMPLETED ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT OF 0.50 INCHES OR GREATER. THESE REPORTS SHALL BE MADE AVAILABLE TO THE OWNER AND OWNER'S REPRESENTATIVES AT ANY TIME. COPIES OF ALL OF THE INSPECTIONS SHALL BE SUBMITTED TO THE CITY OF EDGEWOOD PRIOR TO THE ISSUANCE OF A CERTIFICATE OF COMPLETION OR OCCUPANCY.
9. A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE, CONFORMING TO THE STANDARDS WITHIN THESE CONSTRUCTION DOCUMENTS, SHALL BE UTILIZED TO PREVENT EROSION AND SEDIMENT MATERIALS FROM BEING TRACKED OFF-SITE.
10. ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED AND NOT ALLOWED TO REMAIN ON THE ROADWAY OVERNIGHT BY THE CONTRACTOR.
11. ALL PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, AND ANY DISTURBED LAND AREAS, SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS AFTER FINAL GRADING. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
12.1. PREPARING AND SUBMITTING THE FDEP NOTICE OF INTENT (NOI) APPLICATION. THE NOI APPLICATION SHALL BE FILED AT LEAST TWO (2) DAYS BEFORE THE COMMENCEMENT OF CONSTRUCTION.
12.2. PROVIDING FDEP NOTICE OF INTENT APPLICATION FEES.
12.3. PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
12.4. PREPARING AND SUBMITTING OF THE FDEP NOTICE OF TERMINATION (NOT) APPLICATION.
13. PRIOR TO EARTH WORK OR CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE COMPLETED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES TO THE CITY OF EDGEWOOD.
14. THE CONTRACTOR SHALL OBTAIN WATER MANAGEMENT DISTRICT PERMITS, IF APPLICABLE, PRIOR TO COMMENCING WORK FOR THIS PROJECT.
15. IF CONTRACTOR DEEMS DEWATERING AS A NECESSARY MEANS OF CONSTRUCTION, THEY SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS.

UTILITY NOTES

- 1. THE CONSTRUCTION OF ALL ONSITE, PRIVATELY OWNED UTILITIES (WATER AND WASTEWATER), SHALL BE IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS FOR THE PROJECT AND ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL. THE CONSTRUCTION OF ALL OFFSITE UTILITIES, OWNED BY THE PURVEYOR, SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY ORANGE COUNTY UTILITIES (OCU) AND ORLANDO UTILITIES COMMISSION (OUC) GUIDELINES.
2. A. ALL ON SITE UTILITY CONSTRUCTION TO POINT OF SERVICE CONNECTIONS SHALL BE PERFORMED BY AN UNDERGROUND UTILITY CONTRACTOR LICENSED BY THE STATE OF FLORIDA.
B. ALL ON SITE UTILITY SERVICES FROM THE POINT OF SERVICE CONNECTION & INCLUDING ALL BUILDING PLUMBING, SHALL BE PERFORMED BY A PLUMBER LICENSED BY THE STATE OF FLORIDA.
3. THE LICENSED UNDERGROUND UTILITY CONTRACTOR AND PLUMBING CONTRACTOR SHALL COORDINATE FULLY WITH ORANGE COUNTY UTILITIES (OCU) AND ORLANDO UTILITIES COMMISSION (OUC) FOR THE REQUIREMENT OF THEIR WORK, INCLUDING NECESSARY PERMITS, INSPECTIONS AND APPROVALS.
4. ALL NEW AND RELOCATED WATER MAIN PIPE, FITTINGS, VALVES, FIRE HYDRANTS, AND RELATED PRODUCTS THAT WILL COME INTO CONTACT WITH DRINKING WATER SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE/NSF INTERNATIONAL STANDARD 61.
5. ALL NEW AND RELOCATED WATER MAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS. ALL NEW AND RELOCATED WATER MAIN PIPE AND FITTINGS SHALL CONTAIN NO MORE THAN 0.25 PERCENT LEAD, AND ALL PACKING AND JOINTING MATERIALS USED IN THE JOINTS OF NEW OR RELOCATED WATER MAIN PIPE SHALL BE IN CONFORMANCE WITH APPLICABLE AWWA STANDARDS.
6. ROCK AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS AND/OR THE PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED WATER MAIN PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF THE PIPE, AND CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN TRENCHES FOR NEW AND RELOCATED WATER MAIN PIPE. BACKFILL MATERIAL SHALL BE TAMPED IN LIFTS AND RELOCATED WATER MAIN PIPE TO A SUFFICIENT HEIGHT ABOVE IT TO ADEQUATELY SUPPORT AND PROTECT THE PIPE.
7. ALL TEES, BENDS, PLUGS, AND HYDRANTS IN NEW AND RELOCATED WATER MAINS SHALL BE PROVIDED WITH MECHANICALLY RESTRAINED JOINTS TO PREVENT MOVEMENT OR SEPARATION OF THE PIPE AND ITS APPURTENANCES.
8. ALL NEW AND RELOCATED WATER MAINS SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C900.
9. ALL NEW AND RELOCATED WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 82-553.345, F.A.C.
10. BACKFLOW-PREVENTION ASSEMBLIES/DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 82-553.360, F.A.C. AND THE AWWA MANUAL M14, RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL AND ORLANDO UTILITIES COMMISSION (OUC) GUIDELINES.
11. ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE, AND ALL PIPE AND PIPE FITTINGS FOR NEW AND RELOCATED WATER SERVICES SHALL CONTAIN NO MORE THAN 0.2 PERCENT LEAD.
12. THE CONTRACTOR SHALL NOTIFY ORANGE COUNTY UTILITIES (OCU) OR ORLANDO UTILITIES COMMISSION (OUC) 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
13. ALL WATER DISTRIBUTION PIPING OWNED BY ORANGE COUNTY UTILITIES (OCU) OR ORLANDO UTILITIES COMMISSION (OUC) SHALL BE DUCTILE IRON PIPE. THE EXTENTS OF PIPING TO BE DUCTILE IRON SHALL BE FROM THE WET TAP TO THE UNDERGROUND 90° BEND ON THE DOWNSTREAM SIDE OF THE BACKFLOW PREVENTERS.
14. ALL EXISTING UTILITIES MUST BE FIELD VERIFIED (VERTICALLY AND HORIZONTALLY) AT ALL POINTS OF CONNECTION AND AT ALL AREAS OF CONFLICT WITH OCU INFRASTRUCTURE.
15. ALL UTILITIES (INCLUDING PUMP STATION IF APPLICABLE) LOCATED OUTSIDE PUBLIC RIGHT-OF-WAYS AND PUBLIC EASEMENTS SHALL BE PRIVATELY OWNED AND MAINTAINED.
16. MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER ALL PROPOSED WATER, WASTEWATER, AND RECLAIMED WATER LINES.
17. ALL WATER DISTRIBUTION SYSTEM PRESSURE PIPE SHALL HAVE A MINIMUM OF THIRTY-SIX (36) INCHES OF COVER.
18. ALL PVC WATER DISTRIBUTION SYSTEM PRESSURE PIPE TO BEAR NSF LOGO FOR POTABLE WATER USE. ALL PVC PIPE SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900 (LATEST EDITION). THE PVC PIPE SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 100 PSI AND SHALL HAVE A DIMENSION RATIO (DR) OF 14 FOR PIPE OF NOMINAL DIAMETER FOUR (4) INCHES THROUGH TWELVE (12) INCHES. ALL PVC PIPE SMALLER THAN 4" SHALL BEAR THE NSF LOGO AND SHALL HAVE A MINIMUM WORKING PRESSURE RATING OF 200 PSI.
19. THE CONTRACTOR SHALL TAKE ADEQUATE MEASURES TO ENSURE THE PROTECTION OF EXISTING ACTIVE MAINS FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, TESTING AND MAINTAINING A PRESSURE IN THE PIPING UNTIL A LETTER OF CLEARANCE IS OBTAINED FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
20. HYDROSTATIC TESTS WILL BE PERFORMED ON THE NEWLY INSTALLED POTABLE WATER DISTRIBUTION SYSTEM PRESSURE PIPE AND APPURTENANCES IN ACCORDANCE WITH AWWA/C900-93 SECTION 4.
21. WATER DISTRIBUTION LINES AND SERVICES ARE SHOWN SCHEMATICALLY. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE SYSTEM WITH THE NECESSARY FITTINGS, JOINTS, AND BENDS TO ALIGN THE SYSTEM IN COMPLIANCE WITH FDEP PERMIT REQUIREMENTS, AND OUC STANDARDS AND ACCEPTANCE.
22. IN THE EVENT THAT THE POTABLE WATER SYSTEM IS CONTAMINATED (I.E. WATER DOES NOT MEET FEDERAL AND STATE REQUIREMENTS) DUE TO CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THE DIRECTION OF THE OWNER, OR STATE AND LOCAL REGULATORY AGENCY, FOR CORRECTING ANY SUCH CONTAMINATION PROBLEM INCLUDING CORRECTION, TESTING, AND OTHER CORRECTIVE ACTION AT CONTRACTORS EXPENSE.
23. STABILIZED ROADBEDS AND A SUITABLE WATER SUPPLY SHALL BE PROVIDED ON THE PROJECT WHEN AND IF COMBUSTIBLE MATERIALS ARE BROUGHT ONTO THE CONSTRUCTION SITE IN QUANTITIES DEEMED TO BE HAZARDOUS PER 602.6.1 SFC (84' ED.).

FIRE

- 1. HYDRANT COLOR CODING SHALL BE PAINTED IN ACCORDANCE WITH N.F.P.A. 291.
2. FIRE PROTECTION SYSTEM SHALL BE CONSTRUCTED BY A LICENSED FIRE SYSTEM CONTRACTOR, IN COMPLIANCE WITH N.F.P.A. 24 REGULATING THE CONSTRUCTION AND TESTING OF SUCH LINES.
3. PER FS 633, THE FIRE PROTECTION MAIN MUST BE INSTALLED BY A CLASS I, II, OR V CONTRACTOR FROM THE POINT OF SERVICE TO 1 FOOT ABOVE FINISHED FLOOR GRADE.
4. THE BODY OF PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN COLOR. THE BODY OF PRIVATE FIRE HYDRANTS SHALL BE PAINTED SAFETY ORANGE IN COLOR. COLOR CODING OF THE HYDRANT BONNET AND CAPS TO ILLUSTRATE AVAILABLE FIRE FLOW AMOUNTS SHALL BE ACCOMPLISHED PER THE GUIDELINES OF NFPA 291, RECOMMENDED PRACTICES FOR FIRE FLOW TESTING AND MARKING OF HYDRANTS.
5. FIRE PROTECTION SYSTEM MAINS ON PRIVATE PROPERTY SHALL MEET THE REQUIREMENTS AND SHALL BE INSTALLED PER NFPA 24, STANDARD FOR THE INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES AND/OR NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS AS ADOPTED IN THE FLORIDA FIRE PREVENTION CODE.
6. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE LARGE 4.5" (STEAMER) PORT IS FACING THE ROADWAY IT IS ACCESSED BY.
7. CLEARANCES AROUND THE PROPOSED FIRE DEPARTMENT CONNECTION MUST BE AT LEAST 7.5' IN FRONT OF AND TO EITHER SIDE OF THE APPLIANCE PER ORANGE COUNTY FIRE RESCUE DEPARTMENT'S NEW CONSTRUCTION CHECKLIST AS ADOPTED IN THE FPFC.
8. ALL PVC PIPING DEDICATED FOR FIRE PROTECTION SHALL HAVE A DIMENSION RATIO OF 14.
9. THE CENTER OF A HOSE OUTLET SHALL BE NOT LESS THAN 18" ABOVE FINAL GRADE OR, WHERE LOCATED IN A HOSE HOUSE, 12" ABOVE THE FLOOR PER 7.3.3, NFPA 24.
10. FIRE HYDRANTS SHALL BE LOCATED 5' FROM THE EDGE OF PAVEMENT, MEASURED FROM THE CENTER

RECEIVED

1/13/2022

CITY OF EDGEWOOD



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RICHARD V. BALDOCCHI P.E. #38092

HAVEN OAKS

CONSTRUCTION PLANS

GENERAL NOTES

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APPROVED BY: RVB
DATE: 01-13-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER C-001

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1/13/2022

CITY OF EDGEWOOD



AVCON, INC.  
ENGINEERS & PLANNERS  
5555 E. MICHIGAN ST., SUITE 200 - ORLANDO, FL 32822-2779  
OFFICE: (407) 599-1122 - FAX: (407) 599-1133  
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057  
www.avconinc.com

RICHARD V. BALDOCCHI  
P.E. #38092

HAVEN OAKS

CONSTRUCTION PLANS

DEMOLITION & EROSION  
CONTROL PLAN NORTH

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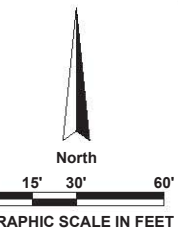
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AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-100

Page 37 of 111

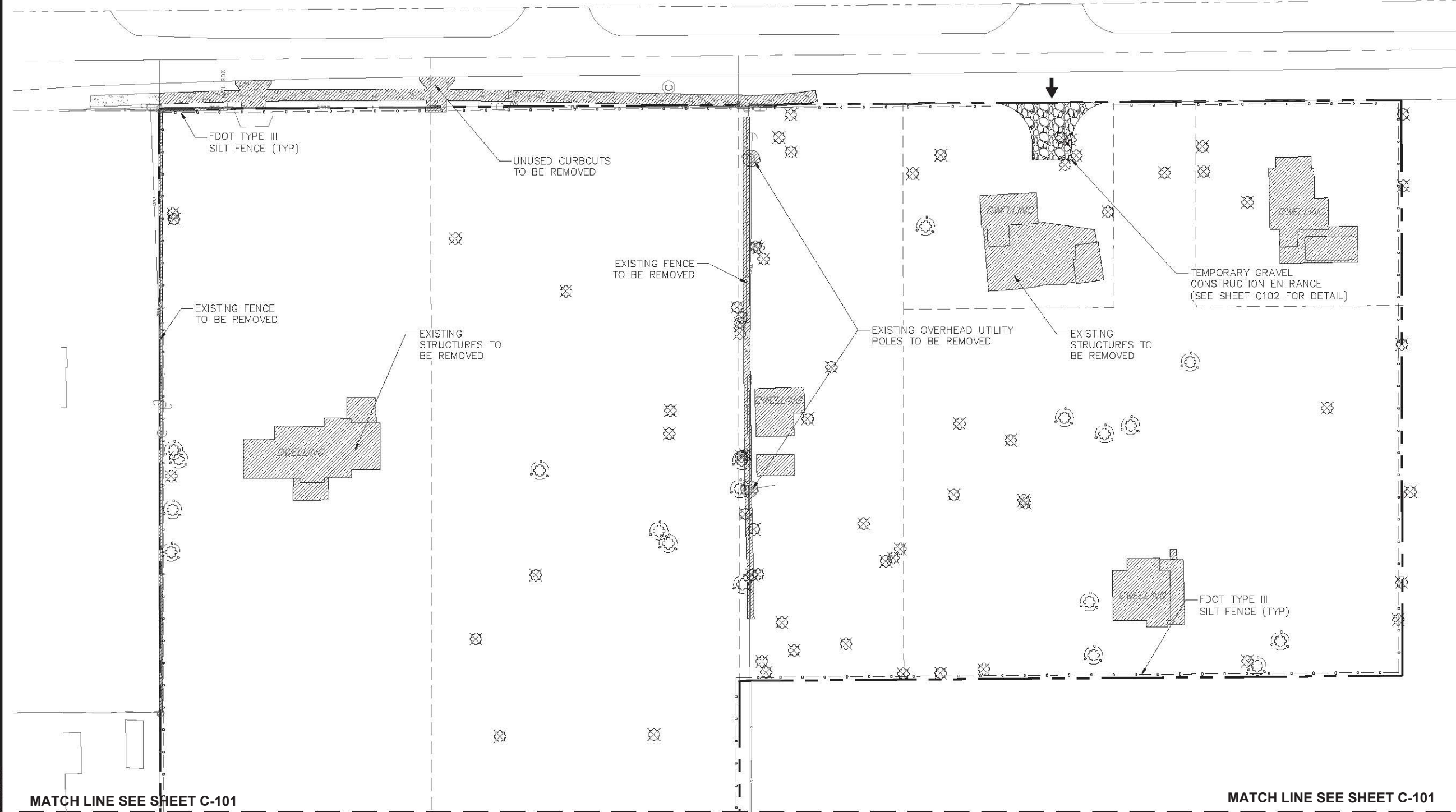


**NOTE:**

- FIELD LOCATION OF TREES ALONG THE PROPERTY BORDER ARE TO BE FIELD VERIFIED, AND THE LOCATION OF THE PRECAST WALL AND WALL EASEMENT SHALL BE ADJUSTED AS NECESSARY TO AVOID AND PROTECT TREES DESIGNATED TO BE SAVED.

**LEGEND:**

- FDOT TYPE III SILT FENCE
- CONSTRUCTION ENTRANCE
- LIMITS OF CLEARING & GRUBBING (REMOVAL OF SITE DEBRIS, CONCRETE, PAVEMENT, WALKS, FENCE, BUILDING, UTILITIES, TREES, ETC) ALL IMPROVEMENTS IN THIS AREA BOTH ABOVE GROUND AND BELOW SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THESE PLANS.
- CONSTRUCTION ENTRANCE
- EXISTING TREE TO BE SAVED (SEE SHEET C-102 FOR DETAIL)
- EXISTING TREE TO BE REMOVED



MATCH LINE SEE SHEET C-101

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AVCON, INC.  
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HAVEN OAKS

CONSTRUCTION PLANS

DEMOLITION & EROSION  
CONTROL PLAN SOUTH

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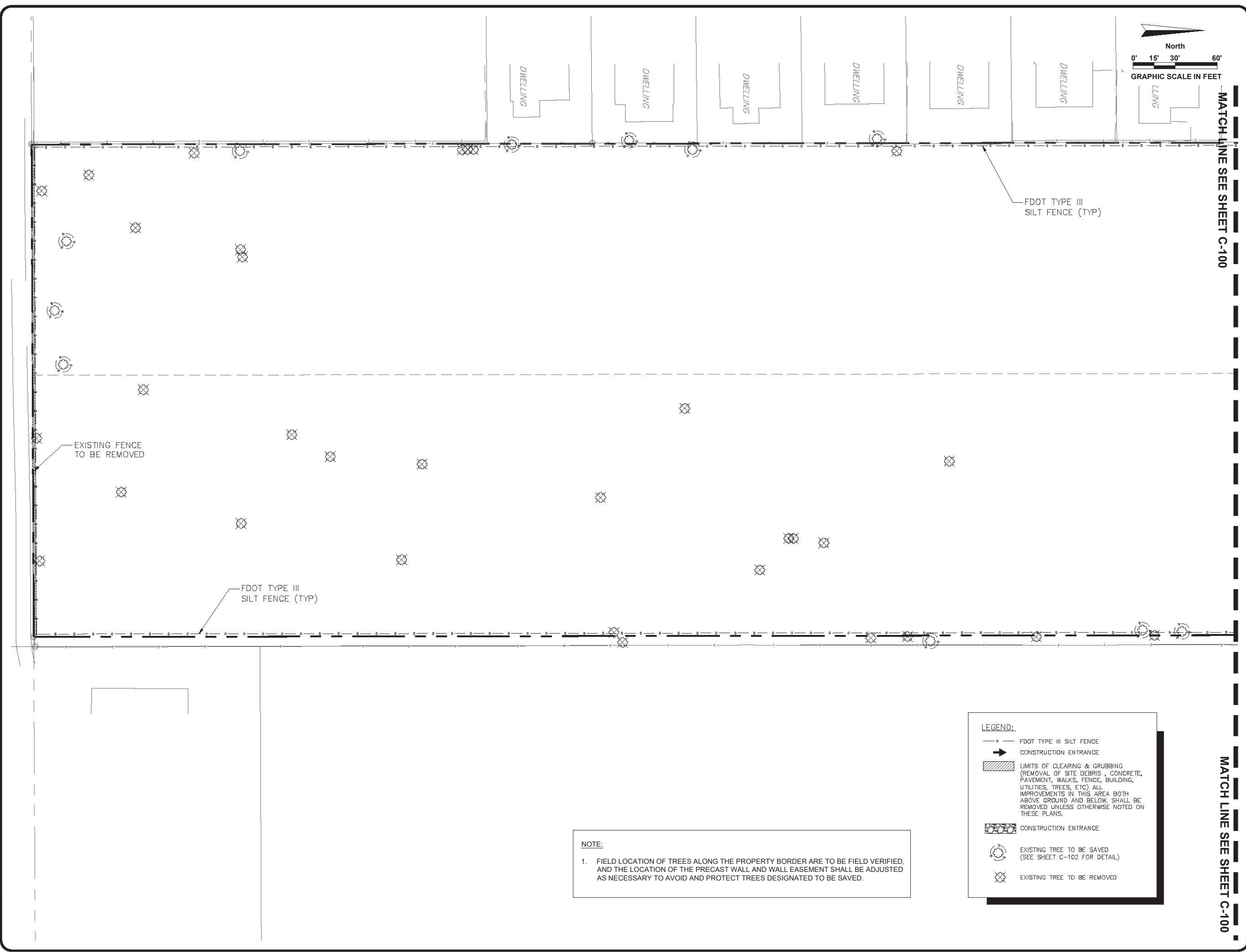
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AVCON PROJECT No. 2019.0099.15

SHEET NUMBER

C-101



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**LEGEND:**

- FDOT TYPE III SILT FENCE
- ➔ CONSTRUCTION ENTRANCE
- ▨ LIMITS OF CLEARING & GRUBBING (REMOVAL OF SITE DEBRIS, CONCRETE, PAVEMENT, WALKS, FENCE, BUILDING, UTILITIES, TREES, ETC) ALL IMPROVEMENTS IN THIS AREA BOTH ABOVE GROUND AND BELOW, SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THESE PLANS.
- ⊗ CONSTRUCTION ENTRANCE
- ⊙ EXISTING TREE TO BE SAVED (SEE SHEET C-102 FOR DETAIL)
- ⊗ EXISTING TREE TO BE REMOVED

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**GENERAL EROSION AND SEDIMENT CONTROL NOTES:**

AN EROSION CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND APPROVED BY THE CITY OF EDGEWOOD PRIOR TO SCHEDULING OF PRE-CONSTRUCTION CONFERENCE. THE CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT AS ARE EXISTING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS CONDITION WILL BE SATISFIED FOR THE TOTAL ANTICIPATED CONSTRUCTION PERIOD. PROVISION MUST BE MADE TO PRESERVE THE INTEGRITY AND CAPACITY OF CHECK WEIRS, SEDIMENTS BASINS, SLOPE DRAINS, GRADING PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGHOUT THE LIFE OF THE CONSTRUCTION. CONTRACTOR SHALL PROVIDE SYNTHETIC HAY BALES, TEMPORARY GRASSING ETC. AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION.

- STOCKPILING MATERIAL:  
NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DRAIN DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
- EXPOSED MATERIAL:  
THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING, OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL NOT EXCEED 40 ACRES SO LONG AS THIS OPERATION WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
- INLET PROTECTION:  
THE CONSTRUCTION OF SWALES AND THE STORMWATER COLLECTION SYSTEM SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT LADEN STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- TEMPORARY SEEDING:  
AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN SEVEN DAYS, SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WILL NOT LATER COMPETE WITH THE PERMANENT GRASSING. THE RATE OF SEEDING SHALL BE AS RECOMMENDED BY THE MANUFACTURER.
- TEMPORARY GRASSING:  
SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN 4 ABOVE, SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA TO A DEPTH OF FOUR INCHES.
- TEMPORARY GRASSING:  
THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR COVER.
- TEMPORARY RE-GRASSING:  
IF AFTER FOURTEEN DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% COVERAGE, AREAS WILL BE REWORKED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATION COVER.
- MAINTENANCE:  
ALL FEATURES OF THE PROJECT WILL BE CONSTRUCTED TO PREVENT EROSION AND SEDIMENT AND SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION PROPERLY WITHOUT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT.
- DUST ABATEMENT:  
DUST SHALL BE CONTROLLED WITH USE OF WATER AND CALCIUM CHLORIDE.  
STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 7 DAYS, IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

**EROSION CONTROL NOTES:**

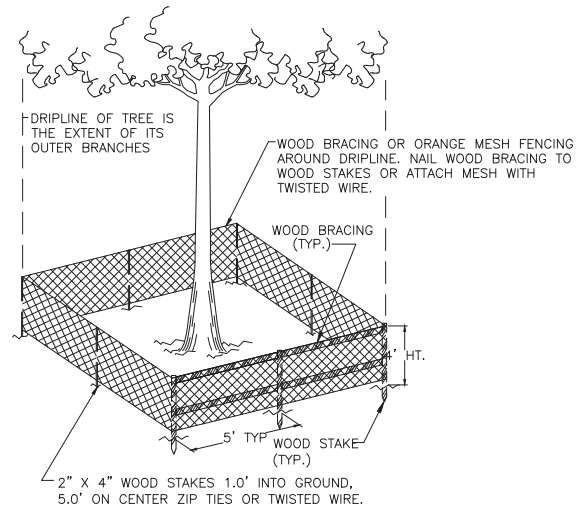
- THE CONSTRUCTION OF SWALES AND THE STORM SEWER SYSTEM SHALL BE PERFORMED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
- INLET OPENINGS SHALL BE COVERED WITH FILTER FABRIC OR SURROUNDED BY SYNTHETIC HAY BALES.
- THE CONTRACTOR SHALL MINIMIZE THE AERIAL EXTENT OF EXPOSED EARTH AT ONE TIME DURING CONSTRUCTION AND UTILIZE WATERING TRUCKS TO WET THE EARTH DURING DRY MONTHS TO MINIMIZE EROSION DUE TO WIND.
- SILT FENCE MUST REMAIN IN PLACE AND BE MAINTAINED IN GOOD CONDITION AT ALL LOCATIONS SHOWN UNTIL CONSTRUCTION IS COMPLETE, SOILS ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
- THE EROSION CONTROL MEASURES SHOWN HEREON ARE INTENDED AS MINIMUM STANDARDS. ANY EROSION CONTROL REQUIRED BEYOND THAT SPECIFIED SHALL BE CONSIDERED AS INCLUDED WITHIN THIS CONTRACT.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE LOCAL WATER MANAGEMENT DISTRICT AND FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION STANDARDS.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- SEDIMENT MATERIALS FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, AND PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION/SEDIMENT CONTROL EFFORTS. ANY NECESSARY REMEDIES SHALL BE PERFORMED WITHOUT DELAY.
- ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES, DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED AND NOT ALLOWED TO REMAIN ON THE ROADWAY OVERNIGHT BY THE CONTRACTOR.
- ALL PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, AND ANY DISTURBED LAND AREAS SHALL BE COMPLETED WITHIN 7 CALENDAR DAYS AFTER FINAL GRADING. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
  - PREPARING FDEP NOTICE OF INTENT APPLICATIONS, (NOI & NOT)
  - FDEP NOTICE OF INTENT APPLICATION FEES.
  - PREPARING THE FDEP STORMWATER POLLUTION PREVENTION PLAN (SWPPP)
  - SUBMITTAL OF THE FDEP NOTICE OF INTENTS APPLICATIONS (NOI & NOT)
- THE SUBMITTAL OF THE FDEP NOI MUST BE DONE PRIOR TO COMMENCING WORK FOR THIS PROJECT.
- PRIOR TO EARTH WORK OR CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A COPY OF THE COMPLETED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NPDES NOTICE OF INTENT (NOI) FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES TO THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL OBTAIN WATER MANAGEMENT DISTRICT PERMITS PRIOR TO COMMENCING WORK FOR THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS.
- UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS, AS A MINIMUM, SHALL BE SEEDED AND MULCHED AND COMPACTED EQUIVALENT TO THAT OF NATIVE SURROUNDING EARTH.

**SEDIMENT CONTROL NOTES:**

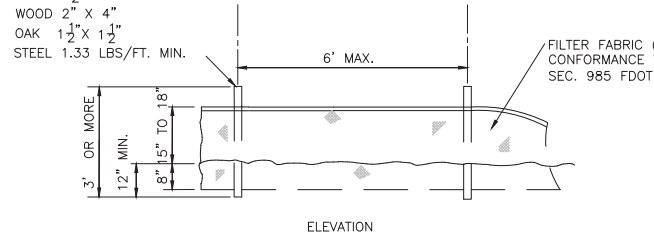
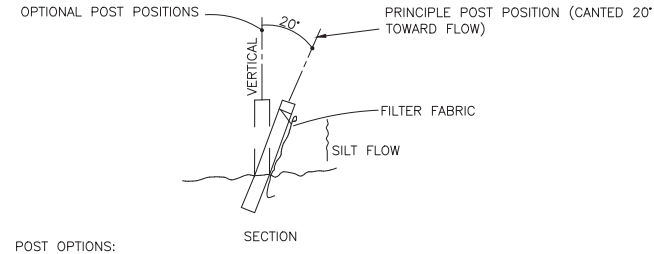
- ALL SEDIMENT CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OR EXISTING SURFACE MATERIAL ON THE BALANCE OF THE SITE.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED.
- ALL TEMPORARY EARTH BERMS AND DIVERSIONS SHALL BE MACHINE COMPACTED, SEEDED, AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 7 DAYS AFTER GRADING.
- CONSTRUCTED BERMS, DIKES, ETC., SHALL BE COMPACTED BY SEVERAL PASSES WITH CONSTRUCTION EQUIPMENT (BULLDOZER, BACKHOE, OR OTHER HEAVY EQUIPMENT, OR BY USE OF A SUITABLE ROLLER).
- AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
- THE IN PLACE SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL THE SITE IS PERMANENTLY STABILIZED AND ALL PERMIT REQUIREMENTS ARE MET.

**DEMOLITION NOTES:**

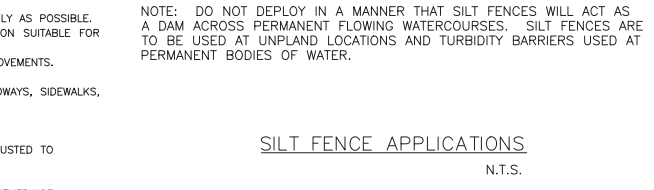
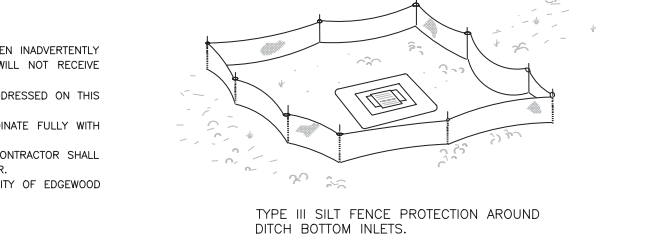
- THE INTENT OF THE DEMOLITION PLAN IS TO DEPICT EXISTING FEATURES THAT ENCUMBER THE PROPOSED CONSTRUCTION AREA AND ARE SCHEDULED FOR REMOVAL. SOME INCIDENTAL ITEMS MAY HAVE BEEN INADVERTENTLY OMITTED FROM THE PLAN. THE CONTRACTOR IS ENCOURAGED TO THOROUGHLY INSPECT THE SITE AS WELL AS REVIEW THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING PRICING. CONTRACTOR WILL NOT RECEIVE ADDITIONAL COMPENSATION FOR INCIDENTAL ITEMS NOT SHOWN ON THIS DEMOLITION PLAN.
- THIS DEMOLITION PLAN IS BASED ON AVAILABLE UTILITY INFORMATION AND MAY OR MAY NOT BE ALL INCLUSIVE FOR THIS SITE. ANY UTILITIES ENCOUNTERED DURING DEMOLITION THAT ARE NOT DEPICTED/ADDRESSED ON THIS DRAWING SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD IMMEDIATELY.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION OR SUBSEQUENT CONSTRUCTION ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED FOR DEMOLITION, CONSTRUCTION WORK AND HAULING WASTE MATERIAL. ALL ASSOCIATED COSTS AND PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ASPHALT RESURFACING TO ALL EXISTING ROADS WHICH ARE SAW-CUT OR DAMAGED DURING CONSTRUCTION. ALL REPAIRS TO BE MADE IN ACCORDANCE WITH CITY OF EDGEWOOD REQUIREMENTS.
- ANY ENCOUNTERED CONTAMINATED MATERIALS SHALL BE DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR IS ADVISED THAT UNCHARTED UTILITIES MAY BE FOUND TO EXIST WITHIN THE CONSTRUCTION AREA AND THAT CONSTRUCTION OPERATIONS SHOULD BE CONDUCTED WITH CAUTION.
- ANY MISCELLANEOUS GARBAGE, YARD WASTE AND CONSTRUCTION DEBRIS PRESENTLY ON-SITE DUE TO ILLGAL DUMPING SHALL BE DISPOSED OF OFF-SITE ACCORDING TO THE SOLID WASTE AND HAZARDOUS WASTE REGULATIONS. USE CAUTION IF ANY HAZARDOUS WASTE IS PRESENT.
- EXISTING IRRIGATION SYSTEMS ADJACENT TO CONSTRUCTION ACTIVITIES SHALL BE PROTECTED. ANY IRRIGATION SYSTEM COMPONENTS REMOVED DUE TO CONSTRUCTION ACTIVITIES SHALL BE RESTORED AS QUICKLY AS POSSIBLE.
- ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CONDITION SUITABLE FOR DEVELOPMENT.
- CONTRACTOR SHALL LIMIT ALL DEMOLITION ACTIVITIES TO THOSE AREAS DELINEATED ON THE CONSTRUCTION DRAWINGS UNLESS OTHERWISE DIRECTED BY OWNER OR AS REQUIRED FOR CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR IS RESPONSIBLE FOR CONTROLLING AIRBORNE DUST AND POLLUTANTS BY USING WATER SPRINKLING OR OTHER SUITABLE MEANS OF CONTROL.
- CONTRACTOR TO USE CARE IN HANDLING DEBRIS FROM SITE TO ENSURE THE SAFETY OF THE PUBLIC. HAUL ROUTE TO BE CLOSELY MONITORED FOR DEBRIS OR MATERIALS TRACKED ONTO ADJOINING ROADWAYS, SIDEWALKS, ETC. ROADWAYS AND WALKWAYS TO BE CLEARED DAILY OR AS NECESSARY TO MAINTAIN PUBLIC SAFETY.
- ALL ASPHALT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT ADJACENT TO REMAINING IMPROVEMENTS.
- EXISTING SITE FEATURES LOCATED WITHIN THE AREA OF DEMOLITION IDENTIFIED TO REMAIN SHALL BE PROTECTED DURING THE COURSE OF CONSTRUCTION; FEATURES AFFECTED BY GRADING SHALL BE ADJUSTED TO MEET DESIGN GRADES.
- SEE EROSION CONTROL PLAN FOR REMAINING INLET PROTECTION AND EROSION PREVENTION.
- AT THE END OF EACH WORK PERIOD, ANY DROP-OFF IN THE AREA ADJACENT TO THE TRAVEL WAY OF ABUTTING ROADS SHALL BE BACK FILLED IN ACCORDANCE WITH FOOT STANDARDS OR SHALL BE OTHERWISE PROTECTED WITH TEMPORARY BARRIER WALL AT THE CONTRACTOR EXPENSE.
- THE CONTRACTOR SHALL ENSURE THAT THE MAINTENANCE OF TRAFFIC FOR THE PROJECT CONFORMS WITH FOOT STANDARDS FOR WORK BEING PERFORMED. ACCESS TO ADJACENT PROPERTIES TO BE MAINTAINED DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE DEMOLITION WITH CONSTRUCTION OF IMPROVEMENTS WITHIN THE ROAD RIGHT-OF-WAY TO MINIMIZE TRAFFIC DISRUPTION.
- CONTRACTOR TO COORDINATE WITH ALL UTILITY OWNERS PRIOR TO REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES. ALL EXISTING UTILITY CONNECTIONS TO BE DISCONNECTED AND REMOVED TO SERVICE POINT OR METER UNLESS NOTED TO REMAIN. CONTRACTOR IS RESPONSIBLE IN MAINTAINING AND PROTECTING UTILITIES LOCATED WITHIN THE LIMITS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED DURING CONSTRUCTION AND SHALL REPAIR SAID DAMAGES AT HIS/HERS EXPENSE.
- EXISTING SURVEY MONUMENTATION SHALL NOT BE DISTURBED; ANY DISTURBED OR REMOVED MONUMENTATION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- CLEAR AND GRUB ALL DISTURBED AREAS PRIOR TO CONSTRUCTION.



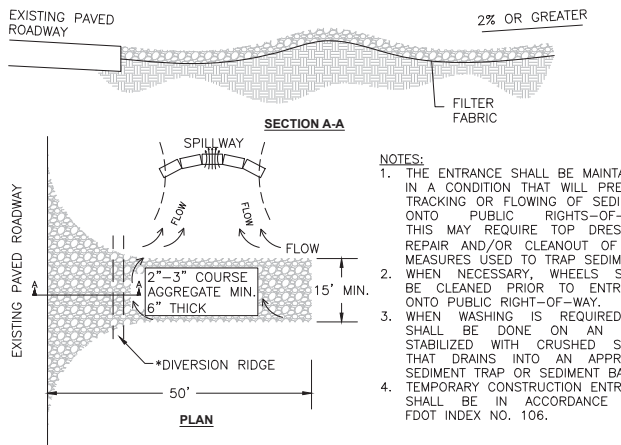
**TREE PROTECTION BARRICADE DETAIL**  
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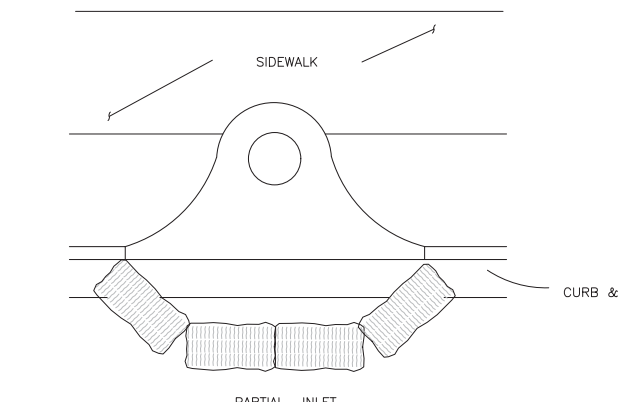
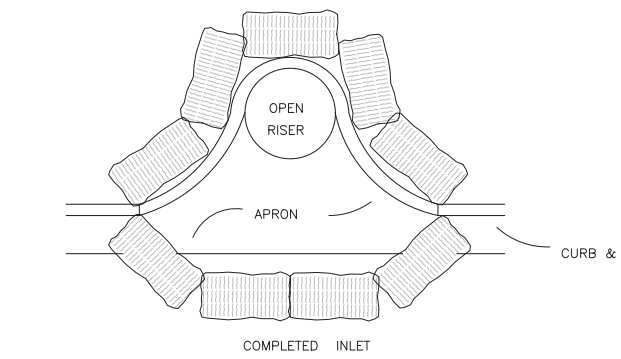
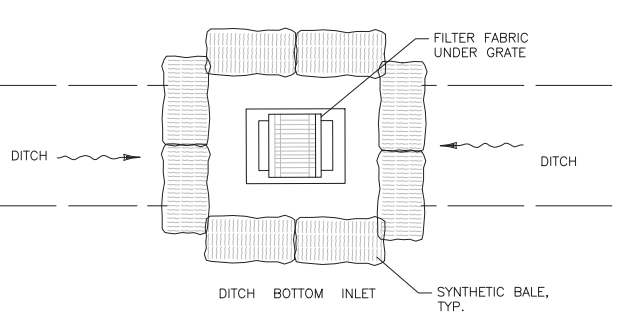
**TYPE III SILT FENCE**  
N.T.S.



- NOTE: DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UNPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**  
\*DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%



NOTE: ANCHOR SYNTHETIC BALES WITH 2 - 2' x 2' x 4' STAKES PER BALE.

**PROTECTION AROUND INLETS OR SIMILAR STRUCTURES**  
N.T.S.

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**DEMOLITION & EROSION CONTROL NOTES**

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AVCON PROJECT No. 2019.0099.15

**SHEET NUMBER**  
**C-102**



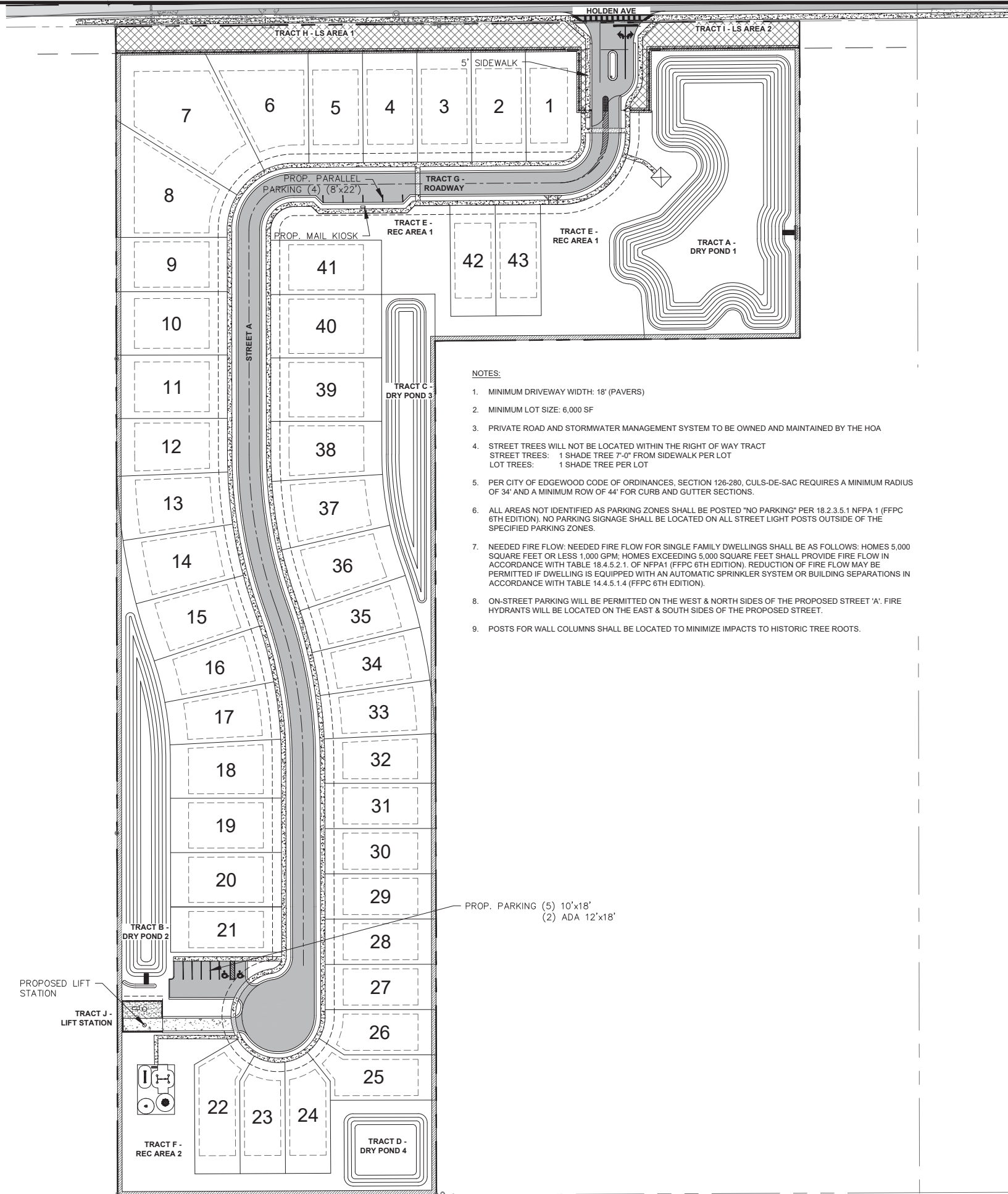
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| ZONING  | PD   |
| EXISTING USE  | VACANT / SINGLE FAMILY HOME  |
| JURISDICTION  | CITY OF EDGEWOOD   |
| FUTURE LAND USE   | LOW DENSITY RESIDENTIAL (LDR)  |
| DEVELOPABLE AREA  | 13.68 ACRES  |
| PROPOSED DEVELOPMENT (SINGLE FAMILY)                              | 43 LOTS (SINGLE PHASE)   |
| MINIMUM LIVING AREA   | 1,800 SF, MIN. 13 OF THE RESIDENTIAL STRUCTURES SHALL BE GREATER THAN 2200 SF)   |
| NET UNITS PER ACRE  | 3.14 UNITS PER ACRE  |
| MIN. LOT SIZE   | 6,000 SF   |
| MIN. LOT WIDTH  | 50' (FRONT SETBACK LINE)   |
| MAXIMUM BUILDING HEIGHT   | 35' TWO STORY  |
| MAXIMUM BUILDING LOT COVERAGE                                     | 70%  |
| OPEN SPACE REQUIREMENT  | 40%  |
| RECREATION AREA (5% OF THE TOTAL AREA)                            | 0.684 AC REQUIRED, 1.258 PROVIDED  |
| PROJECTED STUDENT POPULATION (43 DWELLING UNITS X 0.431 STUDENTS) | 19 STUDENTS  |
| ITE AVERAGE DAILY TRIPS (43 LOTS X 9.52 ADT)                      | 409.4 ADT (ITE CODE 210)   |
| QUC POTABLE WATER SERVICE (43 LOTS X 275 GPD)                     | 11,825 GPD (8.21 GPM)  |
| FIRE PROTECTION ORANGE COUNTY PUBLIC UTILITIES                    | 1000 GPM   |
| OCU SANITARY SEWER SERVICE (43 LOTS X 300 GPD)                    | 12,900 GPD (8.96 GPM)  |
| STORMWATER  | STORMWATER FACILITY ON SITE  |
| PHASING SCHEDULE  | PROJECT TO BE CONSTRUCTED IN ONE PHASE   |
| MODEL HOMES   | 5 ALLOWED  |

| OCPS STUDENT GENERATION RATES |       |
|-------------------------------|-------|
| ELEMENTARY                    | 0.196 |
| MIDDLE                        | 0.100 |
| HIGH                          | 0.134 |
| TOTAL                         | 0.431 |

| SETBACKS                             |   |
|--------------------------------------|---|
| FRONT LOT                            | 20' HOUSE, 23' GARAGE, 15' PORCH<br>35' FOR LOT 6                                 |
| SIDE LOT                             | 5' for 50' & 60' lots - 7.5' for 70' lots   |
| REAR LOT                             | 20' BUILDING, 5' SCREEN ENCLOSURE   |
| URBAN MINOR ARTERIAL - HOLDEN AVENUE | 60' FROM CENTERLINE   |
| CORNER LOT SIDE STREET SETBACK       | 15'-0"  |
| POOLS                                | 5' (50' & 60' LOTS) OR 7.5' (70' LOTS)<br>INTERIOR SIDE, 10' SIDE STREET, 5' REAR |
| POOL ENCLOSURES                      | 5' (50' & 60' LOTS) OR 7.5' (70' LOTS)<br>INTERIOR SIDE, 10' SIDE STREET, 5' REAR |

\* THE LISTED POOL, POOL ENCLOSURE, AND SCREEN ENCLOSURE SETBACKS MAY APPLY IF APPROVED BY ORANGE COUNTY TRAFFIC ENGINEERING/TRANSPORTATION PLANNING

| TRACT AREAS                  |                       |            |
|------------------------------|-----------------------|------------|
| TRACT                        | AREA                  | PERCENTAGE |
| TRACT A - DRY POND 1         | 53,804 SF - 1.235 AC  | 9.03%      |
| TRACT B - DRY POND 2         | 24,612 SF - 0.565 AC  | 4.13%      |
| TRACT C - DRY POND 3         | 19,416 SF - 0.446 AC  | 3.26%      |
| TRACT D - DRY POND 4         | 12,230 SF - 0.281 AC  | 2.05%      |
| TRACT E - RECREATION AREA 1  | 35,311 SF - 0.811 AC  | 5.92%      |
| TRACT F - RECREATION AREA 2  | 19,653 SF - 0.451 AC  | 3.30%      |
| TRACT G - ROADWAY            | 87,376 SF - 2.006 AC  | 14.66%     |
| TRACT H - LANDSCAPE AREA 1   | 15,722 SF - 0.361 AC  | 2.64%      |
| TRACT I - LANDSCAPE AREA 2   | 5,814 SF - 0.133 AC   | 0.98%      |
| TRACT J - LIFT STATION TRACT | 1,575 SF - 0.036 AC   | 0.26%      |
| TOTAL PROPERTY               | 595,996 SF - 13.68 AC | 100.00%    |
| TOTAL POND AREA              | 110,062 SF - 2.527 AC | 18.47%     |
| TOTAL RECREATION AREA        | 54,964 SF - 1.262 AC  | 9.22%      |



- NOTES:
1. MINIMUM DRIVEWAY WIDTH: 18' (PAVERS)
  2. MINIMUM LOT SIZE: 6,000 SF
  3. PRIVATE ROAD AND STORMWATER MANAGEMENT SYSTEM TO BE OWNED AND MAINTAINED BY THE HOA
  4. STREET TREES WILL NOT BE LOCATED WITHIN THE RIGHT OF WAY TRACT STREET TREES: 1 SHADE TREE 7'-0" FROM SIDEWALK PER LOT LOT TREES: 1 SHADE TREE PER LOT
  5. PER CITY OF EDGEWOOD CODE OF ORDINANCES, SECTION 126-280, CULS-DE-SAC REQUIRES A MINIMUM RADIUS OF 34' AND A MINIMUM ROW OF 44' FOR CURB AND GUTTER SECTIONS.
  6. ALL AREAS NOT IDENTIFIED AS PARKING ZONES SHALL BE POSTED "NO PARKING" PER 18.2.3.5.1 NFPA 1 (FFPC 6TH EDITION). NO PARKING SIGNAGE SHALL BE LOCATED ON ALL STREET LIGHT POSTS OUTSIDE OF THE SPECIFIED PARKING ZONES.
  7. NEEDED FIRE FLOW: NEEDED FIRE FLOW FOR SINGLE FAMILY DWELLINGS SHALL BE AS FOLLOWS: HOMES 5,000 SQUARE FEET OR LESS 1,000 GPM; HOMES EXCEEDING 5,000 SQUARE FEET SHALL PROVIDE FIRE FLOW IN ACCORDANCE WITH TABLE 18.4.5.2.1. OF NFPA1 (FFPC 6TH EDITION). REDUCTION OF FIRE FLOW MAY BE PERMITTED IF DWELLING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM OR BUILDING SEPARATIONS IN ACCORDANCE WITH TABLE 14.4.5.1.4 (FFPC 6TH EDITION).
  8. ON-STREET PARKING WILL BE PERMITTED ON THE WEST & NORTH SIDES OF THE PROPOSED STREET 'A'. FIRE HYDRANTS WILL BE LOCATED ON THE EAST & SOUTH SIDES OF THE PROPOSED STREET.
  9. POSTS FOR WALL COLUMNS SHALL BE LOCATED TO MINIMIZE IMPACTS TO HISTORIC TREE ROOTS.

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RICHARD V. BALDOCCHI  
P.E. #38092

HAVEN OAKS  
CONSTRUCTION PLANS  
OVERALL SITE PLAN

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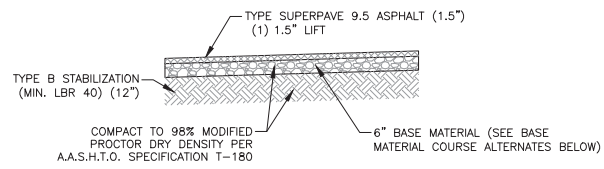
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DRAWN BY: BRE  
CHECKED BY: RVB  
APPROVED BY: RVB  
DATE: 01-13-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER  
**C-200**  
Page 40 of 111

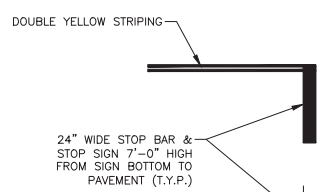




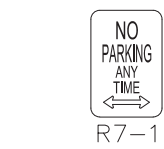


- BASE COURSE ALTERNATE:**
1. CRUSHED CONCRETE MEETING THE GRADATION REQUIREMENTS OF GRADED AGGREGATE AS SPECIFIED IN FDOT SPEC SECTION 204, LBR 100.
  2. LIMESTONE MEETING THE REQUIREMENTS AS SPECIFIED IN FDOT SPEC SECTION 200, LBR 100.
  3. ANY PAVEMENT LOCATED WITHIN ORANGE COUNTY RIGHT-OF-WAY SHALL HAVE SOIL CEMENT AS ITS BASE COURSE. (FOR HOLDEN AVENUE EXPANSION ONLY)
  4. CONCRETE FINES ARE NOT ACCEPTABLE.
  5. ALL MATERIALS MUST BE APPROVED BY THE ENGINEER PRIOR TO ORDERING.

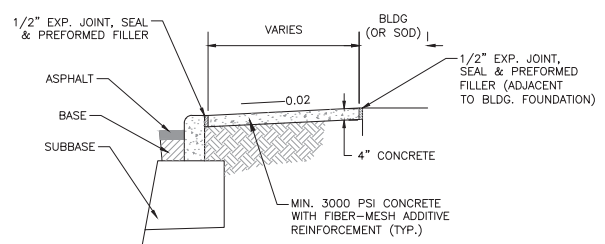
**REGULAR DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



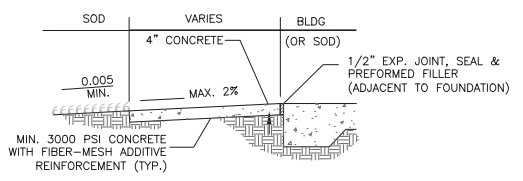
**STOP SIGN & STOP BAR DETAIL**  
N.T.S.



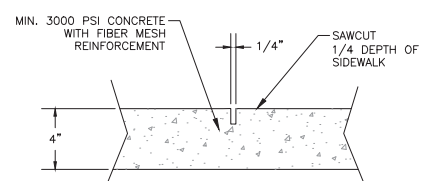
**NO PARKING SIGNAGE**



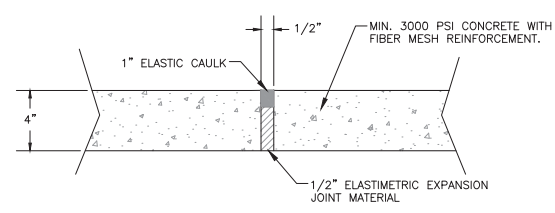
**SIDEWALK CURB INTERFACE DETAIL**



**SIDEWALK GRASS INTERFACE DETAIL**  
N.T.S.

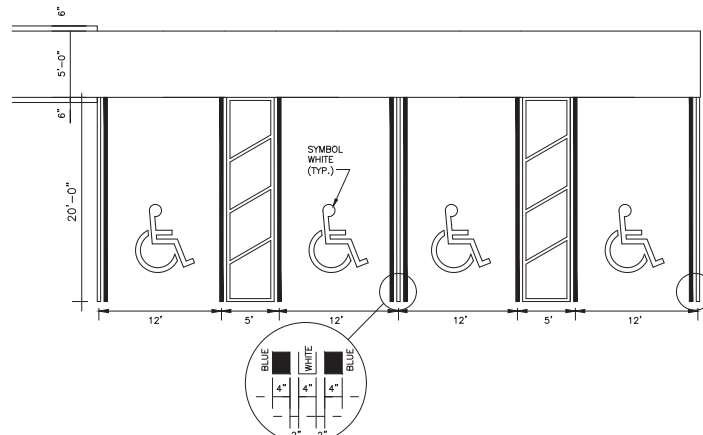


**CONTRACTION JOINT DETAIL**  
N.T.S.

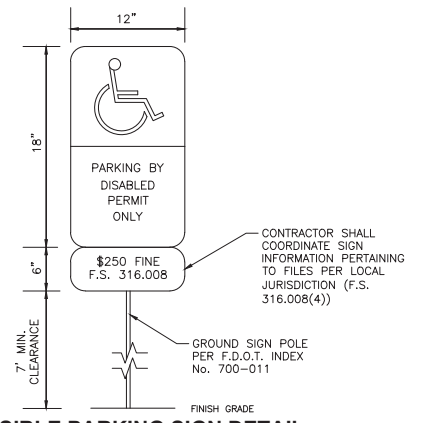


**EXPANSION JOINT DETAIL**  
N.T.S.

ALL SIDEWALKS SHALL HAVE A FULL 1/2" EXPANSION JOINT LOCATED AT A MAXIMUM DISTANCE OF 40 LINEAR FEET AND A SAW CUT OR FORMED DUMMY CONTRACTION JOINT AT EVENLY SPACED INTERVALS NOT TO EXCEED 8 LINEAR FEET.

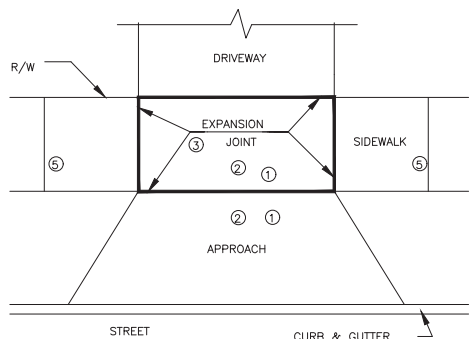


**TYPICAL ACCESSIBLE STRIPING AND RAMP DETAIL**  
N.T.S.



**ACCESSIBLE PARKING SIGN DETAIL**

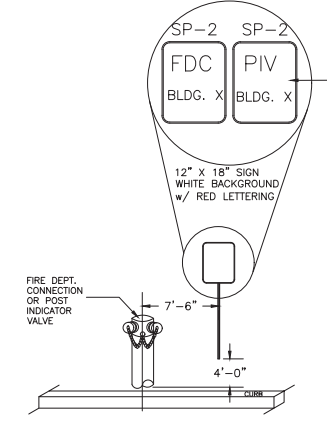
- NOTES:**
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE SYMBOL AND N.T.S. BORDER
  2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER
  3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
  4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.
  5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT.



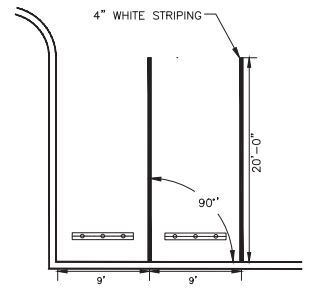
**DRIVEWAY APPROACHES**

- NOTES:**
- 1- CONCRETE TO BE 3000 PSI
  - 2- APPROACH & SIDEWALK IN DRIVE TO BE 6" THICK W/ WIRE MESH OR FIBER MESH.
  - 3- 1 x 4 USED AT EXPANSION JOINTS TO BE FIBER BOARD.
  - 4- ALL WOOD STAKES USED IN FORM WORK TO HAVE 2" OR MORE MORE OF CONCRETE COVER.
  - 5- SIDEWALK TO BE JOINTED AT INCREMENTS TO EQUAL SIDEWALK WIDTH. NOT REQUIRED IN DRIVE.
  - 6- NO BRICKS OR BRICK PAVERS AR ALLOWED WITHIN CITY R.O.W.

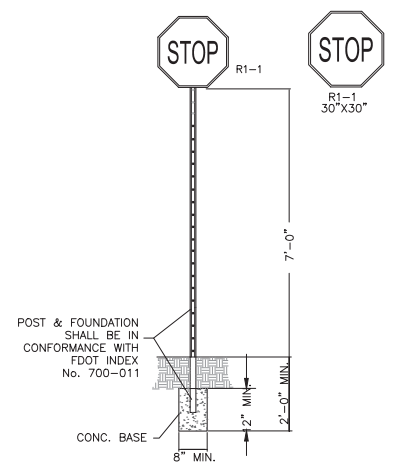
**DRIVEWAY APPROACH DISCLAIMER**  
THE CITY ALLOWS THE USE OF NON-STANDARD OR ALTERNATIVE MATERIALS IN THE RIGHT-OF-WAY FOR THE DRIVEWAY APPROACH RAMP. HOWEVER, SHOULD THE CITY BE REQUIRED TO PERFORM A MAINTENANCE OPERATION ON OR REPAIR OF UNDERGROUND FACILITIES THAT CAUSES THE NON-STANDARD OR ALTERNATIVE MATERIAL DRIVEWAY TO BE REMOVED, THE CITY WILL AS BEST AS POSSIBLE REMOVE THE NON-STANDARD OR ALTERNATIVE MATERIALS AND SET THEM ASIDE. THE CITY WILL NOT BE RESPONSIBLE FOR RE-INSTALLING THE NON-STANDARD OR ALTERNATIVE MATERIALS FOR THE DRIVEWAY APPROACH RAMP. THE REINSTALLATION COST FOR THE NON-STANDARD OR ALTERNATIVE MATERIALS DRIVEWAY APPROACH RAMP WILL BE THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.



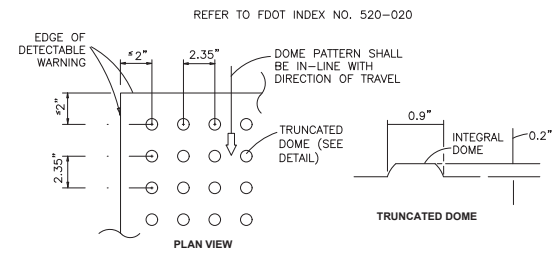
**FIRE DEPT. CONNECTION / POST INDICATOR VALVE DETAIL**  
N.T.S.



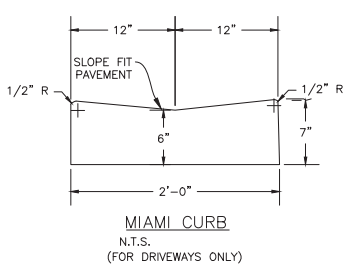
**TYPICAL PARKING STALL STRIPING DETAIL**  
N.T.S.



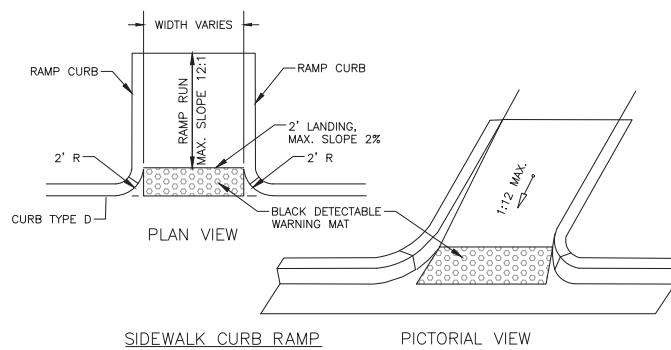
- NOTES:**
1. SEE PLANS FOR SIGNAGE TYPES AND LOCATIONS
  2. SIGN PLACEMENT SHALL CONFORM TO FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND DESIGN STANDARD INDEX'S.
  3. SIGNAGE SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION



**CURB RAMP DETECTABLE WARNING SURFACE**  
N.T.S.

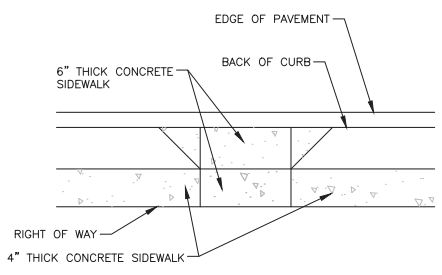


**MIAMI CURB**  
N.T.S. (FOR DRIVEWAYS ONLY)

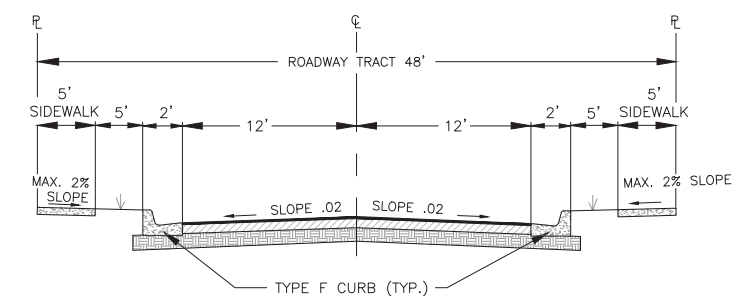


**SIDEWALK CURB RAMP**  
N.T.S.

REFER TO FDOT INDEX NO. 304, DETAIL CR 22



**POND DRIVEWAY ACCESS DETAIL**  
N.T.S.



**STREET A TYPICAL SECTION (N.T.S.)**

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RICHARD V. BALDOCCHI  
P.E. #38092

HAVEN OAKS

CONSTRUCTION PLANS

CIVIL DETAILS 1

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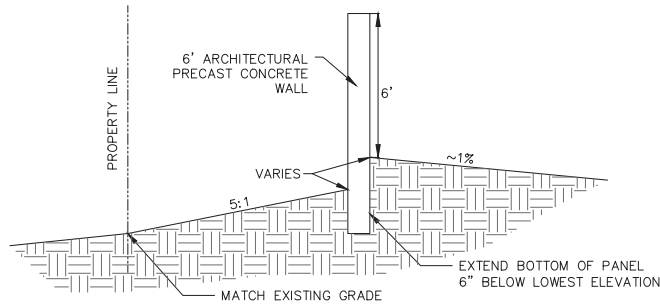
SHEET NUMBER

C-203

**NOTES:**

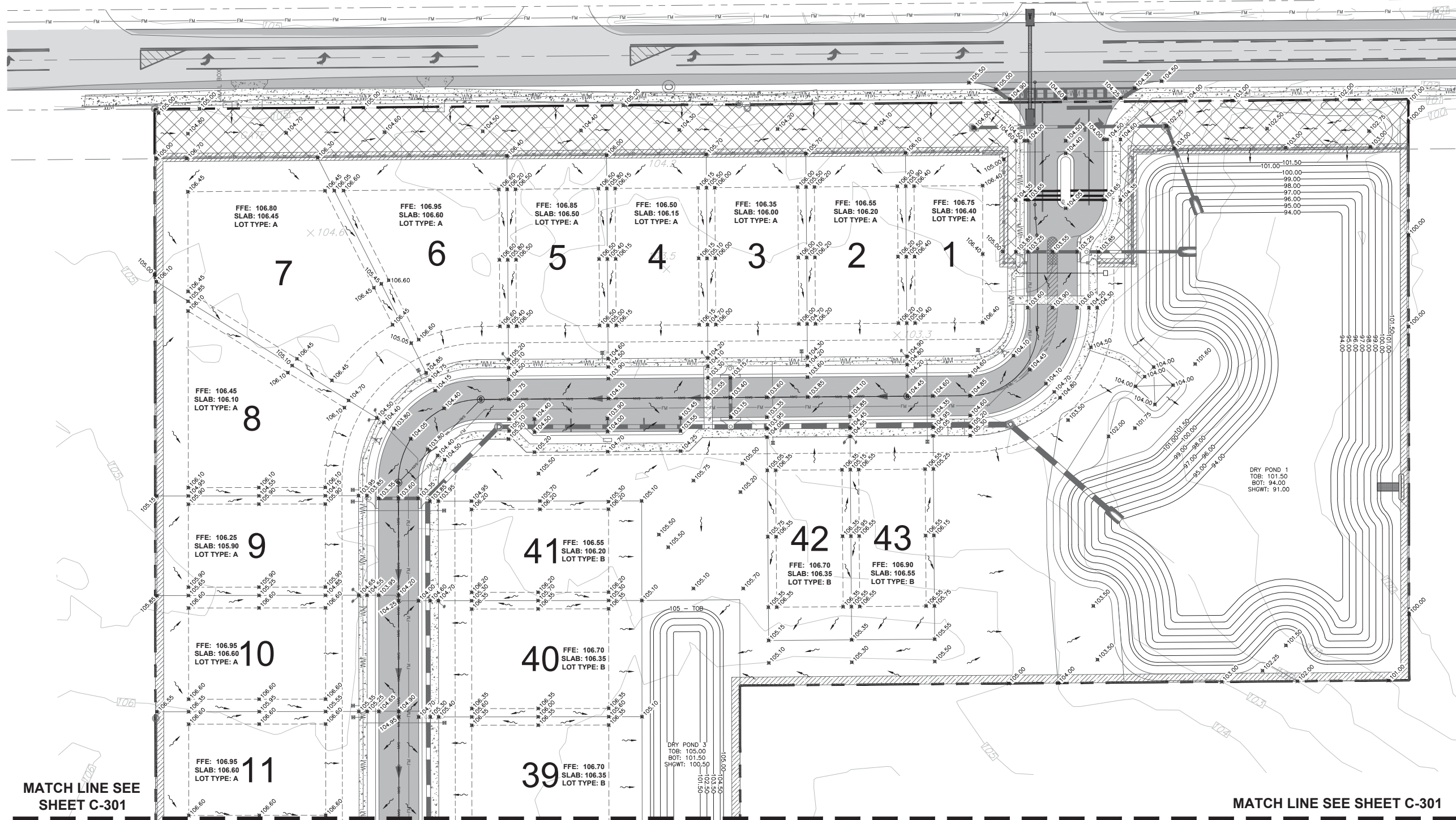
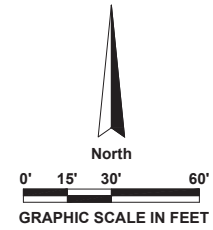
1. ALL PROJECT SITE PERIMETER SLOPES AND DRY POND SLOPES ARE TO BE SODDED. WET POND SLOPES WILL BE SODDED FROM THE N.W.L. TO THE TOP OF BANK
2. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET ORANGE COUNTY AND A.D.A. SPECIFICATIONS.
3. ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM CROSS SLOPE. ALL SIDEWALKS ARE NOT TO EXCEED 5.00% LONGITUDINAL SLOPE, EXCEPT AT CURB RAMPS OR UNLESS OTHERWISE SHOWN. ALL HANDICAP PARKING SPACES ARE NOT TO EXCEED 2.00% LONGITUDINAL SLOPE.

| LEGEND  |                       |
|---------|-----------------------|
| ▲ 90.00 | FINISHED ELEVATION    |
| * 85.50 | EXISTING ELEVATION    |
| →       | STORMWATER FLOW ARROW |



- NOTES:**
1. ADJUST WALL ELEVATION AS NECESSARY TO MAINTAIN TYPE 'A' LOT GRADING

**WALL SECTION**  
N.T.S.



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**AVCON, INC.**  
ENGINEERS & PLANNERS  
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OFFICE: (407) 599-1122 - FAX: (407) 599-1133  
CORPORATE CERTIFICATE OF AUTHORIZATION NUMBER: 5057  
www.avconinc.com

**RICHARD V. BALDOCCHI**  
P.E. #38092

**HAVEN OAKS**

**CONSTRUCTION PLANS**

**GRADING PLAN NORTH**

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CONSTRUCTION PLANS

GRADING PLAN SOUTH

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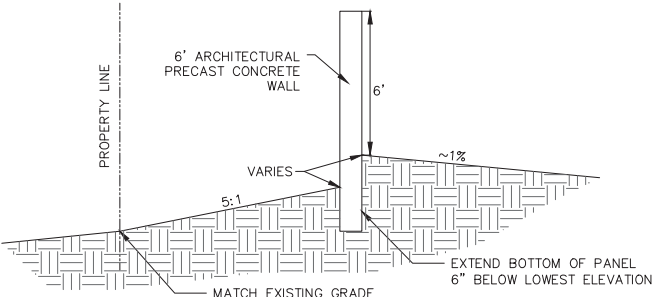
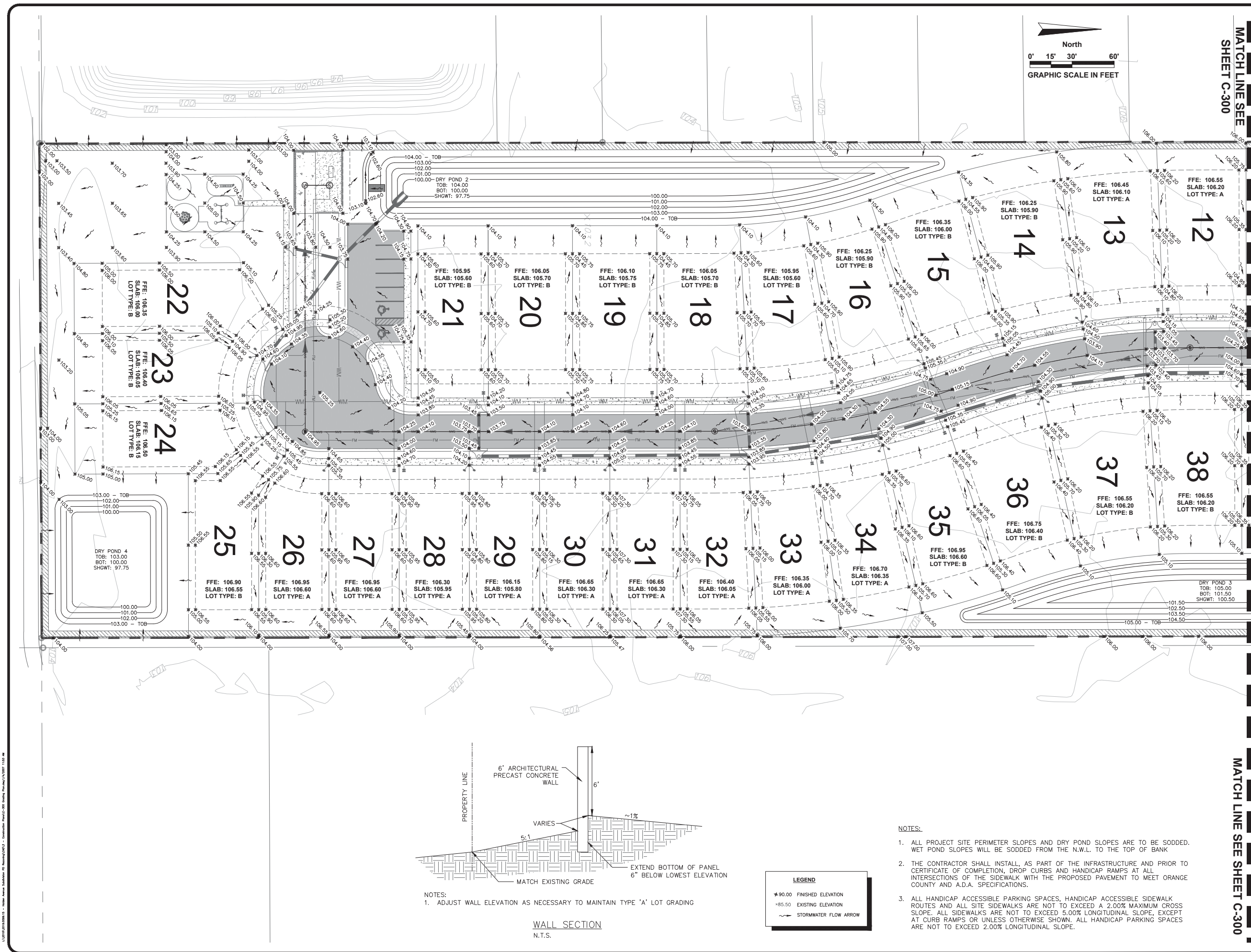
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NOTES:  
1. ADJUST WALL ELEVATION AS NECESSARY TO MAINTAIN TYPE 'A' LOT GRADING

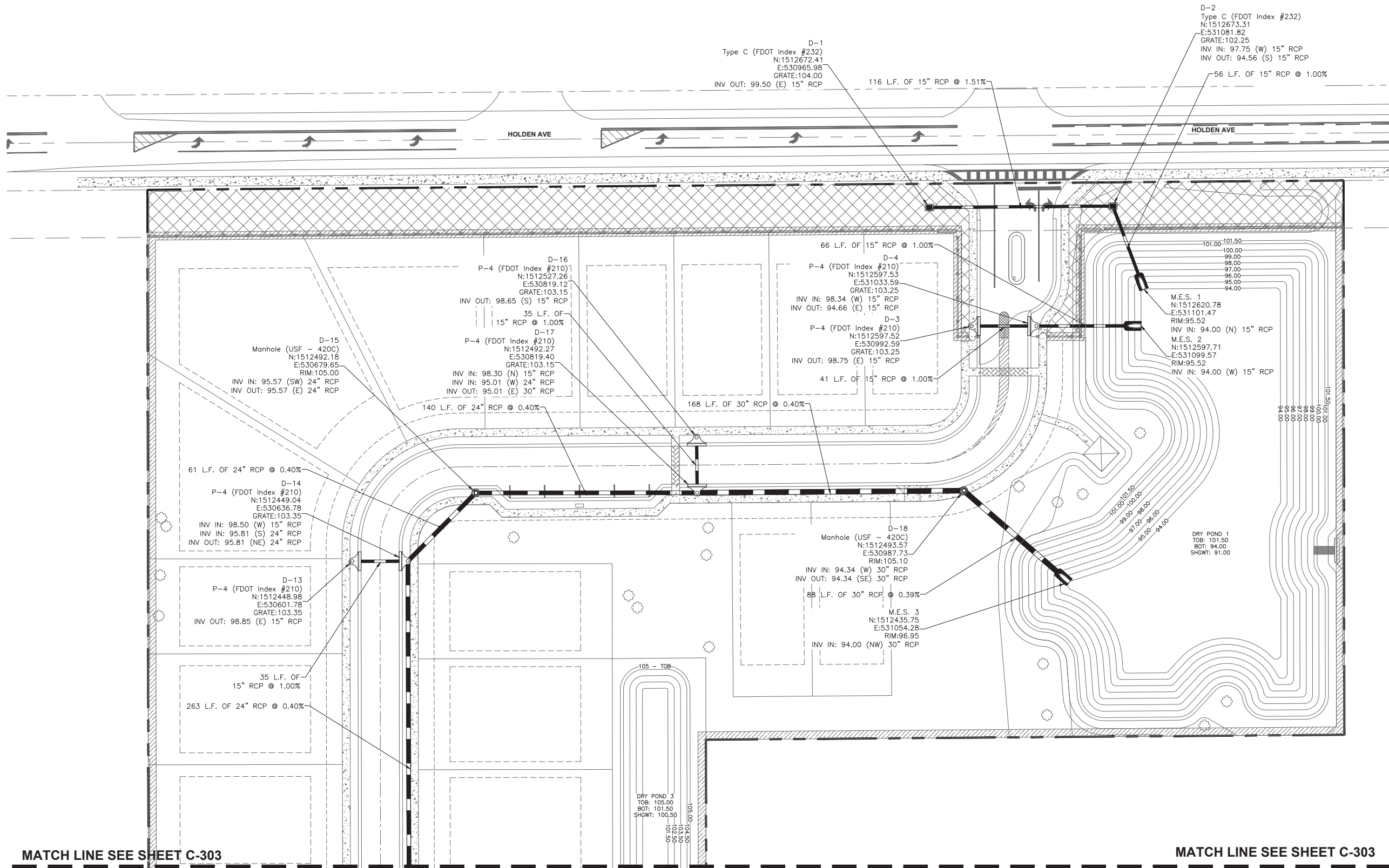
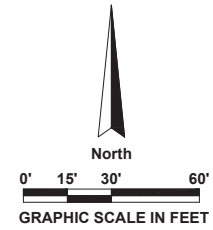
**LEGEND**

|        |                       |
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| ★90.00 | FINISHED ELEVATION    |
| +85.50 | EXISTING ELEVATION    |
| →      | STORMWATER FLOW ARROW |

- NOTES:**
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RICHARD V. BALDOCCHI  
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HAVEN OAKS

CONSTRUCTION PLANS

DRAINAGE PLAN NORTH

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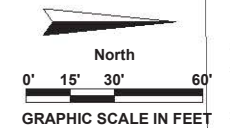
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**C-302**

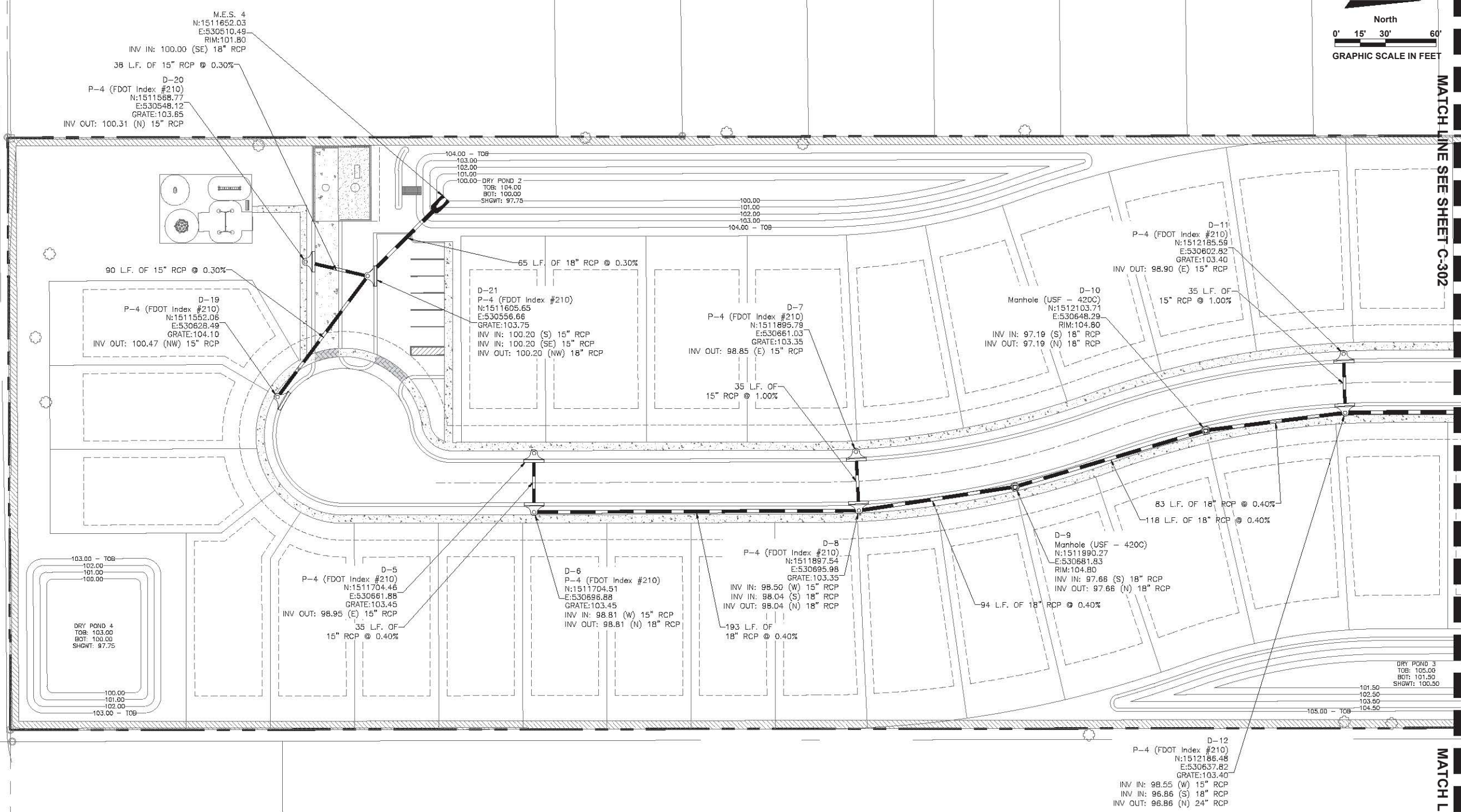
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RICHARD V. BALDOCCHI  
P.E. #38092

HAVEN OAKS

CONSTRUCTION PLANS

DRAINAGE PLAN SOUTH

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DESIGNED BY: RVB  
DRAWN BY: BRE  
CHECKED BY: RVB  
APPROVED BY: RVB  
DATE: 01-13-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER  
**C-303**

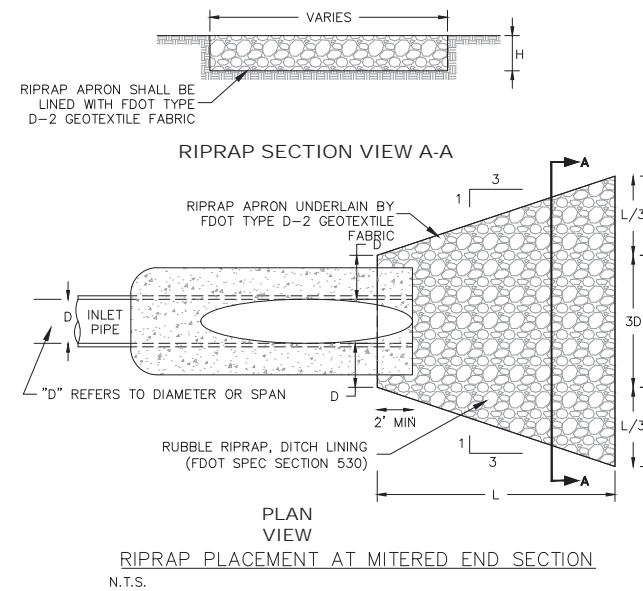
- NOTES:
1. ALL PROJECT SITE PERIMETER SLOPES AND DRY POND SLOPES ARE TO BE SODDED. WET POND SLOPES WILL BE SODDED FROM THE N.W.L. TO THE TOP OF BANK.
  2. THE CONTRACTOR SHALL INSTALL, AS PART OF THE INFRASTRUCTURE AND PRIOR TO CERTIFICATE OF COMPLETION, DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET ORANGE COUNTY AND A.D.A. SPECIFICATIONS.
  3. ALL HANDICAP ACCESSIBLE PARKING SPACES, HANDICAP ACCESSIBLE SIDEWALK ROUTES AND ALL SITE SIDEWALKS ARE NOT TO EXCEED A 2.00% MAXIMUM CROSS SLOPE. ALL SIDEWALKS ARE NOT TO EXCEED 5.00% LONGITUDINAL SLOPE, EXCEPT AT CURB RAMPS OR UNLESS OTHERWISE SHOWN. ALL HANDICAP PARKING SPACES ARE NOT TO EXCEED 2.00% LONGITUDINAL SLOPE.





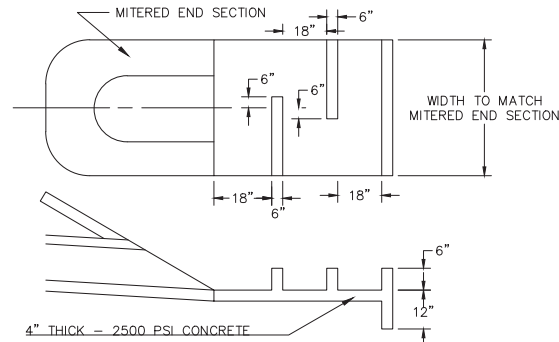
**GRADING AND DRAINAGE NOTES**

- ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88.
- PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES, CONTRACTOR SHALL TAKE ALL NECESSARY AND PRACTICAL MEASURES TO ENSURE THAT UNAUTHORIZED ACCESS TO THE EXCAVATION IS PREVENTED.
- ALL GRADING AND SITE PREPARATION SHALL CONFORM TO SPECIFICATIONS CONTAINED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL VERIFY EXISTING TOPOGRAPHIC DATA, LOCATION OF EXISTING UTILITIES AND ALL OTHER SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION WITHIN STREET RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF EDGEWOOD REQUIREMENTS.
- ALL OPEN DRAINAGE SWALES SHALL BE SODDED PER PROJECT SPECIFICATIONS.
- ALL GRADES SHOWN, WITH THE EXCEPTION OF THOSE INDICATED ON THE SURVEY BASE DRAWING, ARE EXTERIOR FINISHED GRADES UNLESS INDICATED OTHERWISE.
- INLET AND MANHOLE ELEVATIONS ARE TOP OF RIM.
- ALL SIDEWALK CROSS SLOPE SHALL HAVE MAXIMUM 2% CROSS SLOPE. SIDEWALK ALONG BUILDING SHALL SLOPE AWAY FROM BUILDING AND SIDEWALK ALONG STREET SHALL SLOPE TOWARD THE STREET.
- ALL ROOF DRAINAGE DISCHARGE IS TO CONNECT TO ONSITE STORMWATER MANAGEMENT SYSTEM, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL CONFIRM EXACT LOCATION OF ALL TIE-INS TO ROOF DRAINAGE PIPING PRIOR TO INSTALLATION OF ROOF PIPING AND ASSOCIATED FITTINGS.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE A MINIMUM CLASS III, UNLESS OTHERWISE SPECIFIED.
- WRAP ALL CONCRETE PIPE JOINTS WITH A MINIMUM TWO (2) FOOT, TYPE D-3 FILTER FABRIC (SEE FILTER FABRIC JACKET DETAIL).
- ALL PVC STORM SEWER PIPE WITH A DIAMETER OF 4 INCHES AND LARGER, SHALL HAVE A MINIMUM DIMENSION RATIO OF 35. ALL PVC STORM SEWER PIPE WITH A DIAMETER LESS THAN 4 INCHES SHALL BE SCHEDULE 40.
- ALL PROPOSED PAVING SURFACES IN INTERSECTIONS AND ADJACENT EXISTING SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE PROPOSED GRADES AND FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS MAY REQUIRE MINOR LOCAL FIELD ADJUSTMENTS IF THE ACTUAL FIELD CONDITIONS VARY FROM THE SURVEYED INFORMATION THAT THE DESIGN WAS BASED UPON IN ORDER TO ACCOMPLISH THE INTENT OF THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCOMPLISH THIS AND CONSULT THE ENGINEER AS NEEDED TO MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INFORMATION SHOULD THE INTENT OF THE PLANS BE UNCLEAR.
- THE CONTRACTOR IS RESPONSIBLE FOR PAVING ALL ROADWAYS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE A SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE. IF AN AREA OF POOR DRAINAGE IS OBSERVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO PAVING SO THAT A SOLUTION OR RECOMMENDATION FOR CORRECTION MAY BE MADE.
- AFTER THE PAVEMENT SECTIONS HAVE BEEN CONSTRUCTED TO SUBGRADE, THEY SHALL BE PROOF-ROLLED TO ASSURE PROPER COMPACTION HAS BEEN ACHIEVED. THE PROOF ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A FLORIDA LICENSED GEOTECHNICAL ENGINEER TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND ALL DELETERIOUS MATERIALS HAVE BEEN REMOVED.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXCESS CUT OR SUPPLYING FILL AS NEEDED TO GRADE THE SITE AS DEPICTED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL VERIFY ALL EXISTING PIPE INVERTS AND PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY DRAINAGE STRUCTURES. IF EXISTING PIPE INVERTS VARY FROM WHAT IS SHOWN IN THE TABLE OF DRAINAGE STRUCTURES, CONTRACTOR SHALL NOTIFY CIVIL ENGINEER WITH THE CORRECT INVERTS. IF NECESSARY, CIVIL ENGINEER WILL MAKE ADJUSTMENTS TO PROPOSED STRUCTURE INVERT ELEVATIONS.
- CONTRACTOR SHALL VISUALLY INSPECT ALL EXISTING STORM PIPES THAT ARE SHOWN AS TO REMAIN. ANY MAJOR VISUAL DAMAGE TO SAID EXISTING PIPES SUCH AS CRACKING, CRUMBLING, AND UN-ALIGNED JOINTS SHALL BE REPORTED IMMEDIATELY TO THE CIVIL ENGINEER.
- CONTRACTOR SHALL DESILT ALL EXISTING STORM PIPES THAT ARE SHOWN AS TO REMAIN.
- ALL PAVEMENT ELEVATIONS SHOWN WITHIN THE EXISTING BUS LOOP AND VEHICLE PARKING LOT ARE INTERPRETED FROM THE PROJECT SURVEY. SAID ELEVATIONS ARE INTENDED TO MATCH THE EXISTING GRADES WITHIN THE AREAS MENTIONED. THESE GRADES ARE SHOWN TO ILLUSTRATE THAT THE SIDEWALK SHALL BE CONSTRUCTED 6 INCHES ABOVE THE FINISHED ASPHALT GRADE.
- CHAPTER 556, FLORIDA STATUTES, REQUIRES EXCAVATORS TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA (SSOCOF) BEFORE BEGINNING ANY EXCAVATION IN THE STATE OF FLORIDA UNLESS A SPECIFIC EXEMPTION LISTED IN F.S. 556.108 APPLIES. AN EXCAVATOR MUST NOTIFY SSOCOF TWO FULL BUSINESS DAYS BEFORE EXCAVATING. EXCAVATORS MAY CALL 1-800-432-4770 DURING BUSINESS HOURS OR USE THE INTERNET TO PROVIDE NOTIFICATION INFORMATION.
- CONTRACTOR SHALL COMPLY WITH OSHA TRENCH SAFETY STANDARDS 29 C.F.R., S. 926.650, SUBPART P, AND ALL SUBSEQUENT REVISIONS OR UPDATES ADOPTED BY THE DEPARTMENT OF LABOR AND EMPLOYMENT SECURITY AND WITH SECTION 553.62, FLORIDA STATUTES.
- IF DEWATERING IS REQUIRED, THE CONTRACTOR MUST MEET ALL THE CRITERIA FOR A "NO-NOTICE" DEWATERING PERMIT AS SPECIFIED IN SECTION 2.5.1 OF THE "BASIS OF REVIEW FOR WATER USE PERMIT APPLICATIONS WITHIN THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD)."
- THE "NO-NOTICE" DEWATERING CRITERIA INCLUDES, BUT IS NOT LIMITED TO, RETAINING ALL THE DEWATERING DISCHARGE ON THE PROJECT SITE.
- IF THE CONDITIONS OF THE "NO-NOTICE" DEWATERING PERMIT CANNOT BE MET, THE CONTRACTOR IS TO SUBMIT A DEWATERING PERMIT APPLICATION TO THE SJRWMD AT LEAST 30 DAYS PRIOR TO THE PROPOSED DEWATERING ACTIVITIES. DEWATERING CANNOT COMMENCE BEFORE THE SFWMD ISSUES A DEWATERING PERMIT FOR THIS PROJECT.

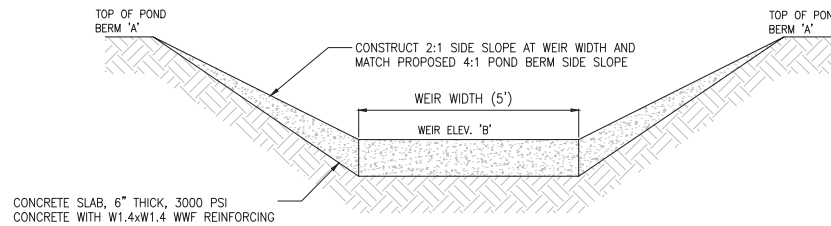


RIPRAP APRON DIMENSIONS AND ESTIMATED QUANTITIES

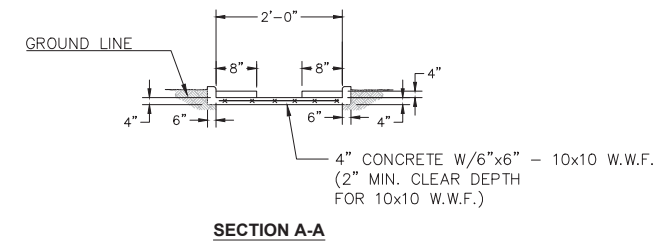
| INLET PIPE SIZE "D" (IN) | LENGTH OF APRON "L" (FT) | DEPTH OF APRON "H" (FT) | ESTIMATED RIPRAP (CY) | ESTIMATED GEOTEXTILE (SY) |
|--------------------------|--------------------------|-------------------------|-----------------------|---------------------------|
| 24x38                    | 13.5                     | 2                       | 14                    | 36                        |
| 29x45                    | 16                       | 2                       | 20                    | 47                        |



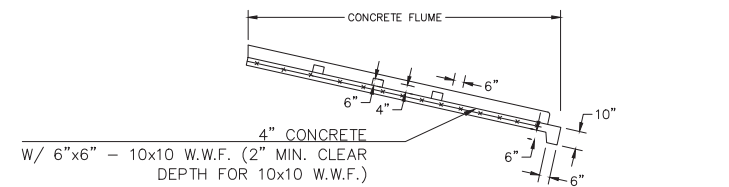
**CONCRETE SPLASH PAD DETAIL**  
N.T.S.



**DRY POND OUTFALLS**

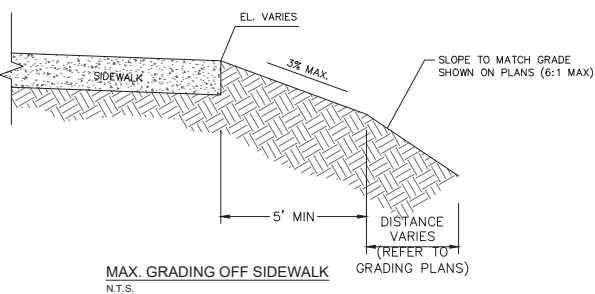


**SECTION A-A**

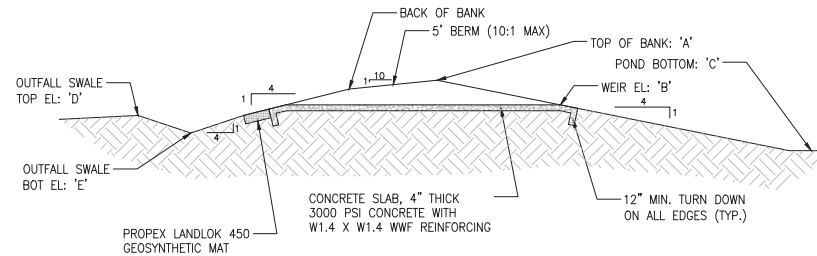


**SECTION B-B**

**CONCRETE FLUME DETAIL**  
N.T.S.



**MAX. GRADING OFF SIDEWALK**  
N.T.S.



**DRY POND OUTFALLS**

**Pond Chart**

| Pond # | EL. 'A' | EL. 'B' | EL. 'C' | EL. 'D' | EL. 'E' |
|--------|---------|---------|---------|---------|---------|
| 1      | 101.50  | 101.00  | 94.00   | 100.00  | 99.50   |
| 2      | 104.00  | 103.25  | 100.00  | 103.10  | 102.60  |

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**RICHARD V. BALDOCCHI**  
P.E. #38092

**HAVEN OAKS**

**CONSTRUCTION PLANS**

**GRADING & DRAINAGE  
DETAILS 2**

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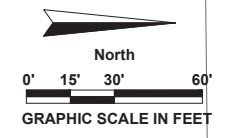
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DRAWN BY: BRE  
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APPROVED BY: RVB  
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AVCON PROJECT No. 2019.0099.15

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CONSTRUCTION PLANS

UTILITY PLAN SOUTH

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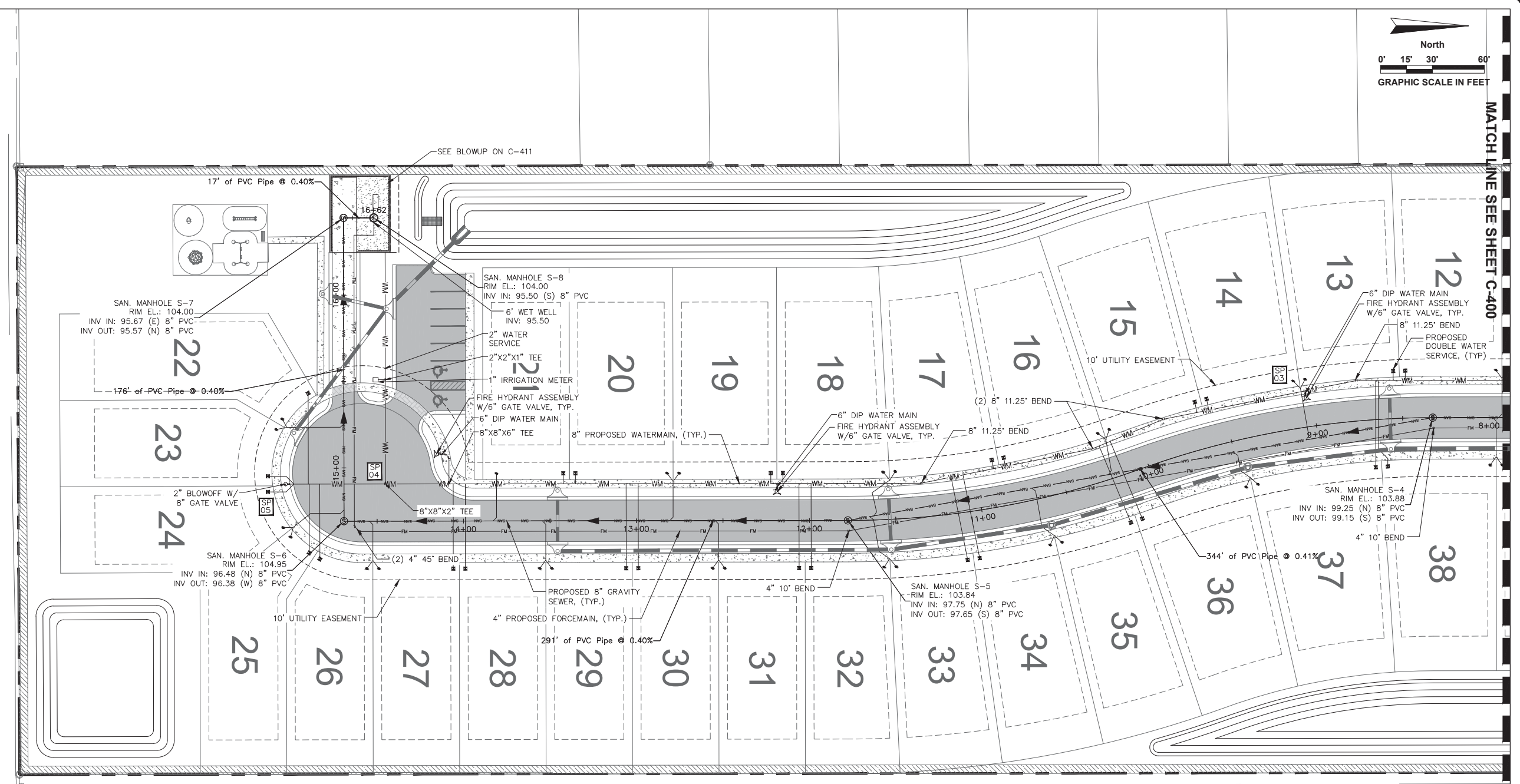
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**LEGEND**

|  |                            |
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|  | WATER LINE                 |
|  | SANITARY LINE              |
|  | FORCE MAIN                 |
|  | FIRE HYDRANT ASSEMBLY      |
|  | GATE VALVE                 |
|  | CROSSING NUMBER            |
|  | SANITARY MANHOLE           |
|  | SAMPLE POINT (TOTAL OF XX) |
|  | WATER SERVICE              |
|  | SANITARY LATERAL           |

**TYPICAL PIPE BENDS**

|  |          |
|--|----------|
|  | 90° BEND |
|  | 45° BEND |
|  | TEE      |

NOTE: ALL OTHER PIPE BENDS USED IN DESIGN OF THIS PROJECT ARE NOTED ON THE PLANS

- NOTE:
- PROVIDE 3' MINIMUM SEPARATION DISTANCE BETWEEN ANY WATERMAIN AND BACK OF STORM SEWER INLET, AND A MINIMUM OF 3' SEPARATION BETWEEN WATERMAIN AND RIGHT-OF-WAY. WHERE THIS CANNOT BE ACHIEVED, A MINIMUM 10' WIDE PUBLIC UTILITY EASEMENT SHALL BE PROVIDED.
  - FIRE FLOW 1,000 GPM
  - ALL EXISTING UTILITIES SHALL BE FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH OCU MAINS.
  - MAINTAIN A 4 FEET MINIMUM COVER OVER ALL EXISTING OCU MAINS
  - ALL GRAVITY SEWER SHALL BE 8" DIAMETER PVC UNLESS OTHERWISE NOTED.

MATCH LINE SEE SHEET C-400

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RICHARD V. BALDOCCHI  
P.E. #38092

HAVEN OAKS

CONSTRUCTION PLANS

PROFILE PLAN 1

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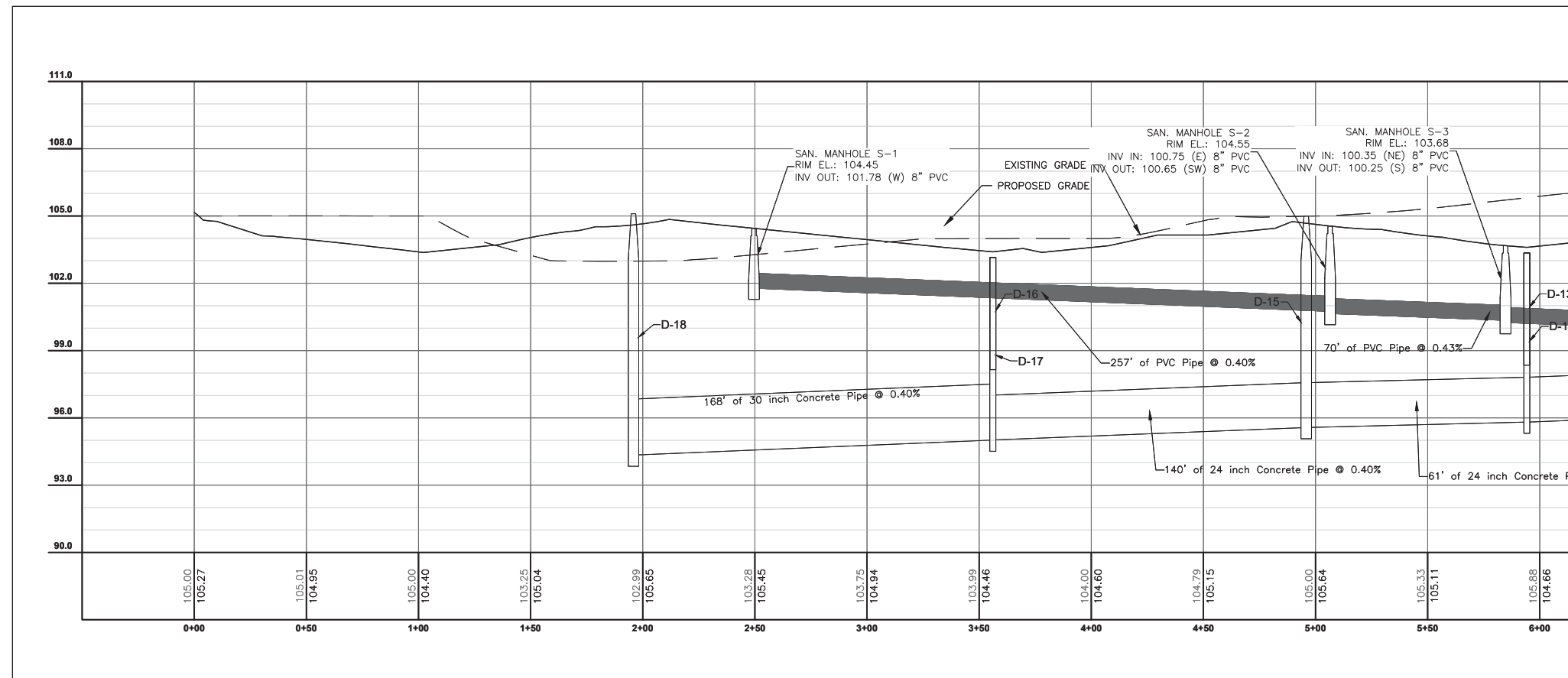
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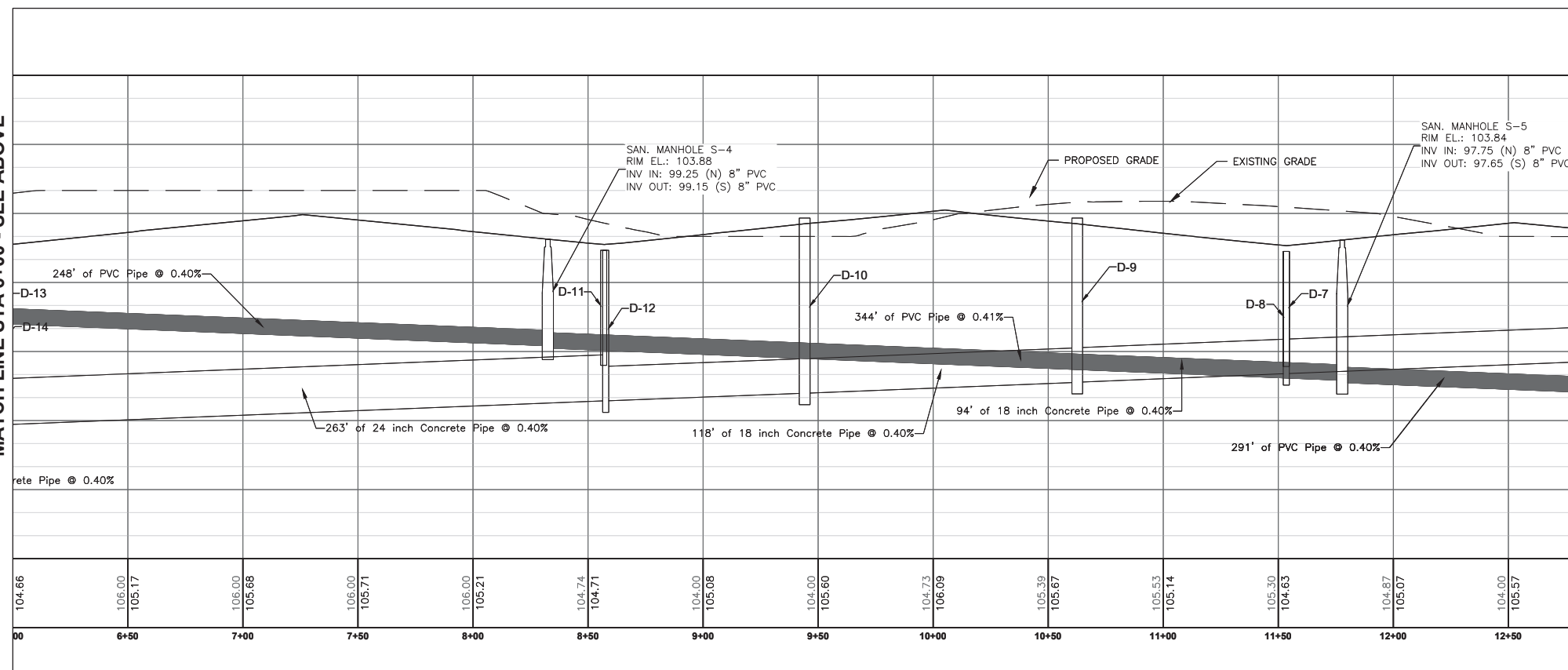
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C-402



PROFILE VIEW  
STA 0+00 TO STA 6+00



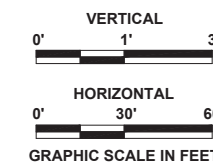
PROFILE VIEW  
STA 6+00 TO STA 13+00

DRAINAGE STRUCTURES

|      |  |
|------|--|
| D-7  | RM = 103.35<br>INV IN = 98.85<br>INV OUT = 98.85                   |
| D-8  | RM = 103.35<br>INV IN = 98.50<br>INV IN = 98.04<br>INV OUT = 98.04 |
| D-9  | RM = 104.80<br>INV IN = 97.66<br>INV OUT = 97.66                   |
| D-10 | RM = 104.80<br>INV IN = 97.19<br>INV OUT = 97.19                   |
| D-11 | RM = 103.40<br>INV IN = 98.90<br>INV OUT = 98.90                   |
| D-12 | RM = 103.40<br>INV IN = 98.55<br>INV IN = 96.86<br>INV OUT = 96.86 |
| D-13 | RM = 103.35<br>INV IN = 98.85<br>INV OUT = 98.85                   |
| D-14 | RM = 103.35<br>INV IN = 98.50<br>INV IN = 95.91<br>INV OUT = 95.91 |
| D-15 | RM = 105.00<br>INV IN = 95.57<br>INV OUT = 95.57                   |
| D-16 | RM = 103.15<br>INV IN = 98.65<br>INV OUT = 98.65                   |
| D-17 | RM = 103.15<br>INV IN = 98.30<br>INV IN = 95.01<br>INV OUT = 95.01 |
| D-18 | RM = 105.10<br>INV IN = 94.34<br>INV OUT = 94.34                   |

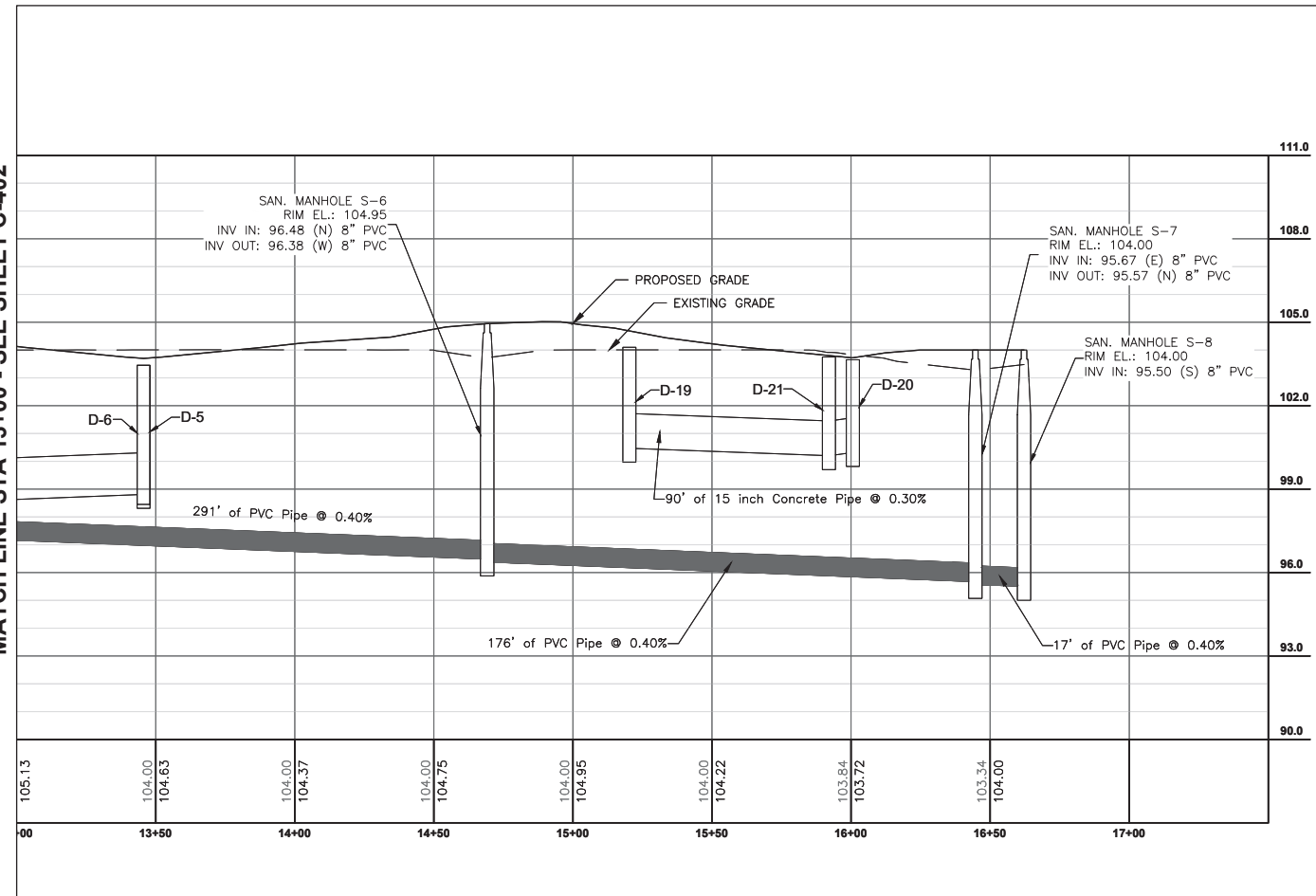
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MATCH LINE STA 13+00 - SEE SHEET C-403



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MATCH LINE STA 13+00 - SEE SHEET C-402



PROFILE VIEW  
STA 13+00 TO STA 17+00

**DRAINAGE STRUCTURES**

|      |  |
|------|--|
| D-5  | RIM = 103.45<br>INV OUT = 98.95  |
| D-6  | RIM = 103.45<br>INV IN = 98.81<br>INV OUT = 98.81                      |
| D-19 | RIM = 104.10<br>INV OUT = 100.47                                       |
| D-20 | RIM = 103.65<br>INV OUT = 100.31                                       |
| D-21 | RIM = 103.75<br>INV IN = 100.20<br>INV IN = 100.20<br>INV OUT = 100.20 |

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CONSTRUCTION PLANS

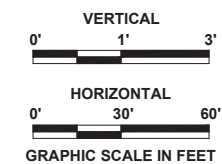
PROFILE PLAN 2

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DRAWN BY: BRE  
CHECKED BY: RVB  
APPROVED BY: RVB  
DATE: 01-13-2022

AVCON PROJECT No. 2019.0099.15

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**C-403**

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CONSTRUCTION PLANS

UTILITY DETAILS 1

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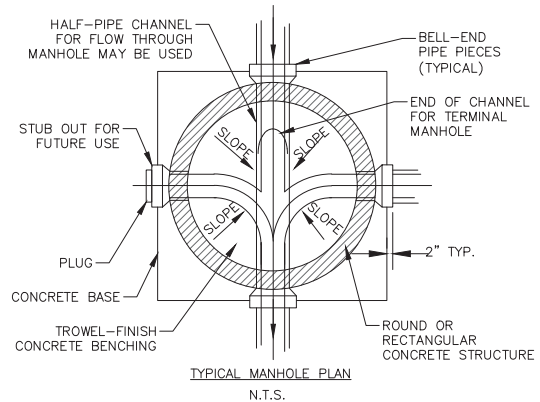
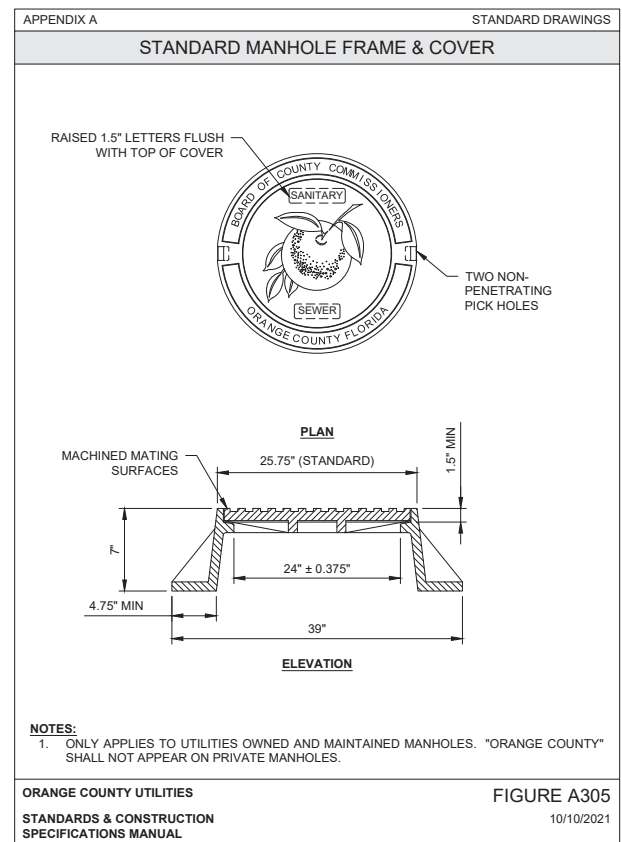
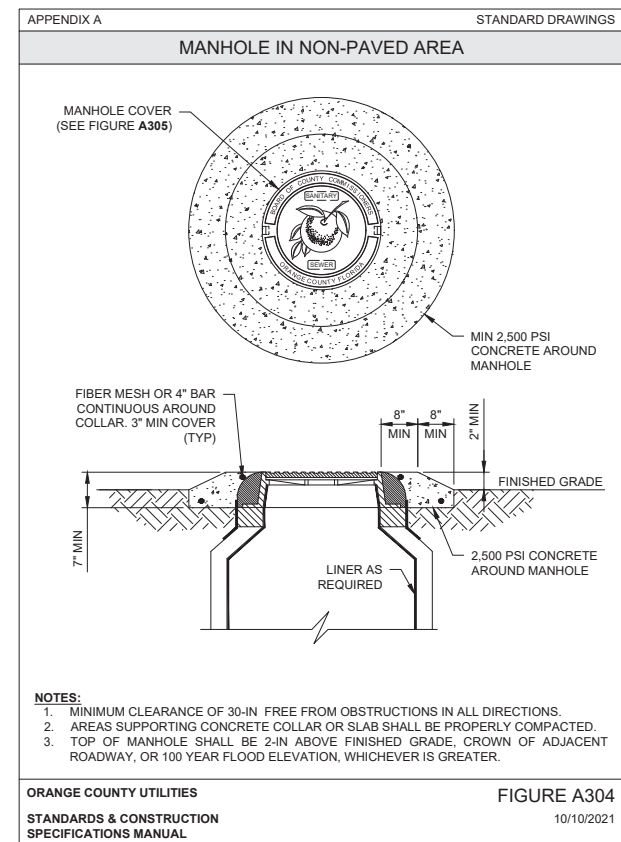
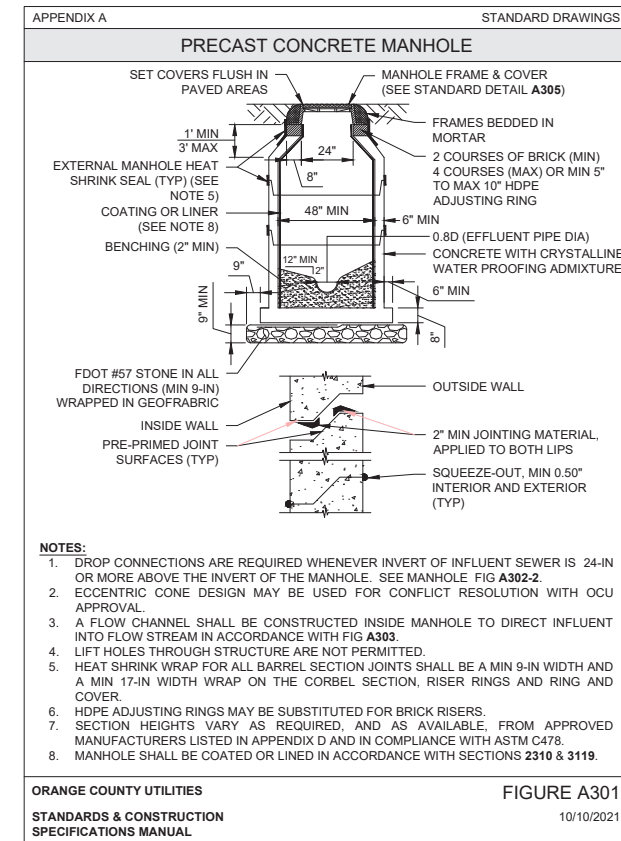
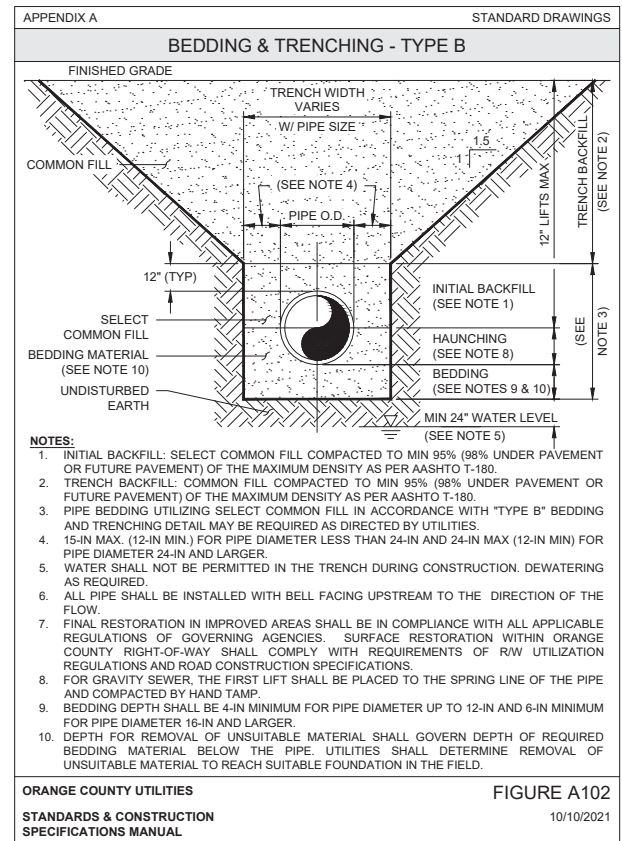
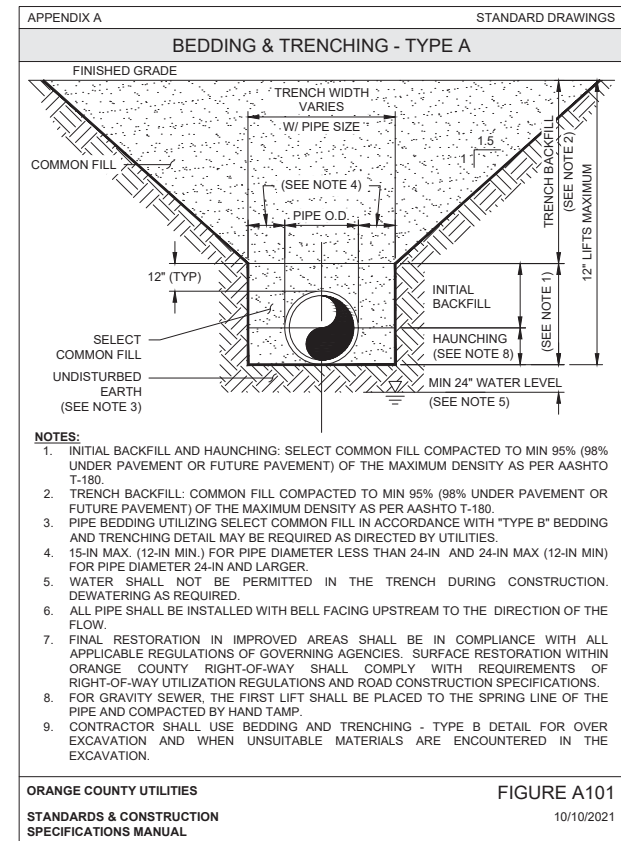
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AVCON PROJECT No. 2019.0099.15

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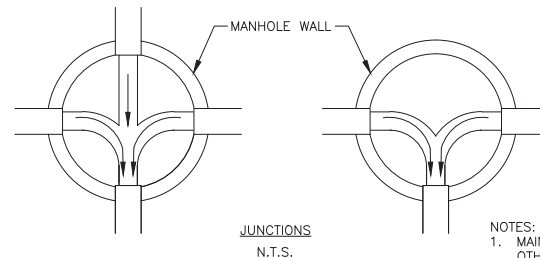
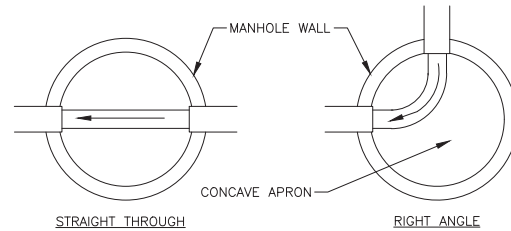
**ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL**

**APPENDIX A**  
**DATE: Feb 11, 2011**

**OCU GENERAL NOTES:**

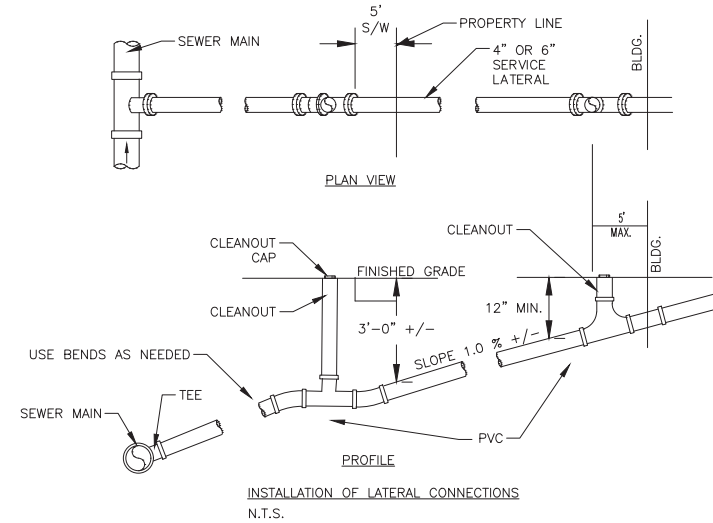
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN PROXIMITY OF WATER MAINS, WASTEWATER FORCE MAINS, GRAVITY MAINS AND RECLAIMED WATER MAINS. MAIN LOCATIONS SHOWN ON PLANS MAY NOT BE EXACT. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
- SHOULD A PIPE EMERGENCY OCCUR, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OCU DISPATCH OPERATOR (407-836-2777) AND THE OCU INSPECTOR.
- THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST SEVEN DAYS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION PROJECT BY CALLING (407) 254-9798.
- THE CONTRACTOR SHALL NOTIFY THE OCU CONSTRUCTION DIVISION AT LEAST 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION BY CALLING (407) 254-9798.
- THE MATERIALS, PRODUCTS, AND CONSTRUCTION OF ALL UTILITIES CONNECTING TO THE OCU SYSTEM SHALL BE IN CONFORMANCE WITH THE ORANGE COUNTY UTILITIES STANDARDS AND CONSTRUCTION SPECIFICATIONS MANUAL.
- ALL OCU MAINS AND FACILITIES WITHIN THE LIMITS OF THE PROJECT SHALL BE SUPPORTED AND PROTECTED AGAINST DAMAGE DURING CONSTRUCTION.
- THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE, SHALL IMMEDIATELY REPAIR ALL DAMAGES TO OCU MAINS AND FACILITIES. IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY OCU, OCU MAY PERFORM REQUIRED REPAIRS AND CLEANUP. THE CONTRACTOR WILL BE CHARGED FOR ALL EXPENSES ASSOCIATED WITH THE REPAIR.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING OCU MAINS AND FACILITIES IN CONFLICT WITH NEW GRADE, NEW OR ALTERED ROADWAYS, SIDEWALKS, DRIVEWAYS, OR STORM WATER IMPROVEMENTS. OCU FACILITIES TO BE ADJUSTED INCLUDE, BUT ARE NOT LIMITED TO PIPELINES, PUMP STATIONS, VALVE BOXES, AIR RELEASE VALVES, FIRE HYDRANTS, MANHOLE COVERS, AND METERS.
- ONLY OCU SHALL OPERATE OCU WATER, WASTEWATER, AND RECLAIMED WATER VALVES. THE CONTRACTOR SHALL COORDINATE VALVE OPERATION WITH THE OCU INSPECTOR. FOR OPERATION OF MAINS NOT OWNED BY OCU, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE APPROPRIATE UTILITY REPRESENTATIVE.
- CONSTRUCTION ACTIVITIES SHALL NOT CAUSE INTERRUPTIONS IN WATER, WASTEWATER, OR RECLAIMED WATER SERVICE. THE CONTRACTOR SHALL COORDINATE PRE-APPROVED INTERRUPTIONS OF SERVICE WITH THE OCU INSPECTOR 7 WORKING DAYS IN ADVANCE.

- THE CONTRACTOR SHALL PROVIDE FOR BYPASSING AND/OR HAULING WASTEWATER DURING APPROVED INTERRUPTIONS OF WASTEWATER FLOWS AND CONNECTIONS. THE CONTRACTOR SHALL SUBMIT A BYPASS PLAN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO OCU DEVELOPMENT ENGINEERING FOR APPROVAL PRIOR TO IMPLEMENTATION BY CONTRACTOR.
- ALL VALVES INSTALLED AS PART OF THIS CONSTRUCTION PROJECT SHALL REMAIN CLOSED DURING CONSTRUCTION. KEEP VALVES ON ALL WET TAPS CLOSED UNTIL CLEARED BY FDEP. DO NOT CONNECT NEWLY CONSTRUCTED WATER MAINS TO ANY EXISTING WATER MAINS UNLESS CLEARED BY FDEP AND OCU.
- THE CONTRACTOR SHALL PROVIDE A JUMPER ASSEMBLY WITH A BACKFLOW PREVENTER FOR MAKING TEMPORARY CONNECTIONS TO AN EXISTING POTABLE WATER SOURCE IN ORDER TO CHLORINATE AND FLUSH NEW WATER MAINS WITH POTABLE WATER. ANY TEMPORARY POTABLE WATER CONNECTIONS TO RECLAIMED WATER OR FORCEMAIN SHALL ALSO BE EQUIPPED WITH A BACKFLOW PREVENTER.
- FOR PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, NO PIPE BENDING IS ALLOWED. THE MAXIMUM ALLOWABLE TOLERANCE FOR JOINT DEFLECTION IS 0.75 DEGREES (3-INCHES PER JOINT PER 20 FT STICK OF PIPE.) ALIGNMENT CHANGE SHALL BE MADE ONLY WITH SLEEVES AND FITTINGS.
- FOR NON-PVC PIPE THAT WILL BE OWNED AND MAINTAINED BY OCU, LONG RADIUS CURVES, EITHER HORIZONTAL OR VERTICAL, MAY BE INSTALLED WITH STANDARD PIPE BY DEFLECTIONS AT THE JOINTS. MAXIMUM DEFLECTIONS AT PIPE JOINTS, FITTINGS AND LAYING RADIUS FOR THE VARIOUS PIPE LENGTHS SHALL NOT EXCEED 75 PERCENT OF THE PIPE MANUFACTURER'S RECOMMENDATION.



**FLOW CHANNEL DETAIL - SANITARY SEWERS**  
N.T.S.

- NOTES:**
- MAINTAIN DESIGN SLOPE ACROSS MANHOLE UNLESS OTHERWISE INDICATED.
  - DEPTH OF ALL CHANNELS TO BE 80% OF PIPE DIAMETER.
  - FINISH OF ALL CHANNELS TO ALLOW SMOOTH FLOW.
  - CONCRETE BENCH SHALL BE POURED BEFORE SHUTTING DOWN DEWATERING OPERATIONS TO PREVENT FLOTATION.
  - BRICK MAY BE USED TO BUILD UP CONCRETE BENCH.



- INSTALLATION OF LATERAL CONNECTIONS**  
N.T.S.
- GENERAL NOTES:**
- LATERAL INSTALLATION SHALL BE CONSTRUCTED BACK TO THE BUILDING AT A SLOPE SUFFICIENT TO YIELD A FLOW VELOCITY OF 2 FEET PER SECOND.
  - BUILDING-SIDE CLEANOUT SHALL BE INSTALLED WITHIN 5 FEET OF THE BUILDING.
  - LATERAL CONNECTIONS OF DISSIMILAR MATERIALS SHALL BE CONNECTED UTILIZING TRANSITION ADAPTERS. TRANSITION GASKETS AND/OR FERNCO ADAPTERS ARE ACCEPTABLE.
  - LATERAL CONNECTION OF LIKE MATERIALS SHALL UTILIZE REDUCERS AND/OR TRANSITION PIECES, ETC.
  - FIELD SOLVENT JOINTS ARE ACCEPTABLE.
  - CLEANOUT CAPS LOCATED IN DRIVEWAYS AND OTHER PAVED AREAS SHALL BE CAST-IN-PLACE RINGS WITH METAL COVERS STAMPED WITH THE WORD "SEWER". ALL OTHERS SHALL BE PVC WITH AN INVERTED HEX-NUT.
  - THERE SHALL BE NO DETECTABLE LEVEL OF INFILTRATION OR EXFILTRATION FROM THE SANITARY SYSTEM AT THE TIME OF INSPECTION. ANY EVIDENCE OF LEAKAGE MUST BE CORRECTED PRIOR TO ACCEPTANCE BY OCPs.
  - USE 4" OR 6" PVC (SDR35) PIPE FOR LATERALS AS NOTED ON DRAWINGS AND IN SPECIFICATIONS.

**MINIMUM HORIZONTAL SEPARATION REQUIREMENTS WATER, WASTEWATER AND RECLAIMED WATER MAINS**

| PROPOSED UTILITY | HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS |      |                      |      |                              |      |             |      | ACCEPTABLE VARIANCES     |
|------------------|---|------|----------------------|------|------------------------------|------|-------------|------|--------------------------|
|                  | POTABLE WATER (PW)                            |      | RECLAIMED WATER (RW) |      | SAN SEWER (SS) GRAVITY & FM) |      | STORM SEWER |      |                          |
|                  | HORIZ   | VERT | HORIZ                | VERT | HORIZ                        | VERT | HORIZ       | VERT |                          |
| POTABLE WATER    | -   | -    | 3'                   | 12"  | 6'                           | 12"  | 3'          | 12"  | REFER TO GENERAL NOTE #4 |
| RECLAIMED WATER  | 3'  | 12"  | -                    | -    | 3'                           | 12"  | -           | -    |                          |
| SANITARY SEWER   | 6'  | 12"  | 3'                   | 12"  | -                            | -    | -           | -    |                          |
|                  |   |      |                      |      |                              |      |             |      |                          |

**GENERAL NOTES:**

- THE TABLE MEETS SEPARATION REQUIREMENTS AS DESCRIBED BY FDEP IN THE FLORIDA ADMINISTRATION CODE (FAC). THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
- FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 62-610. OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWAGE AND SEPARATION LISTED FOR SANITARY SEWER SHALL APPLY.
- ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
- ACCEPTABLE VARIANCES:
  - WHERE HORIZONTAL SEPARATION IS NOT ATTAINABLE FOR NEW INSTALLATIONS OF PW AND SS, THE PIPES WILL BE INSTALLED IN SEPARATE TRENCHES AND THE BOTTOM OF THE PW MAIN WILL BE 12" HIGHER THAN THE TOP OF THE SS.
  - WHERE HORIZONTAL SEPARATION IS NOT ATTAINABLE FOR NEW SS AND A NEW OR EXISTING PW MAIN, THE SS WILL BE UPGRADED TO A DR OF 18.
  - WHERE INSTALLATION OF A NEW PW MAIN IS IN CONFLICT WITH EXISTING SS, THE FOLLOWING SHALL BE MAINTAINED:
    - VERTICAL CONFLICT: DEFLECT NEW PW MAIN 12" ABOVE THE EXISTING SS WITH SUFFICIENT COVER FOR THE PW OR 12" BELOW THE EXISTING SS. WHERE DEFLECTION IS NOT POSSIBLE OR MINIMUM COVER NOT MET, THE PW MAIN SHALL BE UPGRADED TO DIP AND CENTERED AT CROSSING.
    - HORIZONTAL CONFLICT: PW MAIN SHALL BE INSTALLED 18" HIGHER THAN THE EXISTING SS WITH SUFFICIENT COVER OR THE PW WILL BE DIP.
  - SEPARATION REQUIREMENTS BETWEEN PW AND STORM SEWER ARE THE SAME AS WITH PW AND SS. SPECIAL SUPPORT MAY BE REQUIRED.
  - WHERE VERTICAL AND HORIZONTAL SEPARATIONS ARE NOT ATTAINABLE FOR PW AND FM, THE FOLLOWING SHALL BE MAINTAINED:
    - FM UPGRADED TO DR 14 (12" DIA AND UNDER) AND DR 18 (14" DIA AND OVER). WHERE FM IS EXISTING, PW SHALL BE UPGRADED TO DIP.
    - STAGGER THE LOCATION OF JOINTS FOR EACH PIPE.
- NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.
- ALL NEW AND RELOCATED WATER MAINS SHALL BE LOCATED AT LEAST TEN FEET HORIZONTALLY FROM ALL SANITARY SEWERS, STORM SEWERS, FORCE MAINS, AND RECLAIMED WATER LINES CARRYING RECLAIMED WATER FOR RESTRICTED AREAS, AND AT LEAST THREE FEET HORIZONTALLY FROM ALL RECLAIMED WATER LINES CARRYING RECLAIMED WATER FOR PUBLIC ACCESS AREAS. ALL DISTANCES SHALL BE MEASURED FROM OUTSIDE PIPE EDGE TO OUTSIDE PIPE EDGE.
- WHERE ANY NEW OR RELOCATED WATER MAINS CROSS ANY SANITARY SEWERS, STORM SEWERS, FORCE MAINS, OR RECLAIMED WATER LINES, THE WATER MAINS CROSS ABOVE SUCH PIPELINES WITH A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE OUTSIDE OF THE WATER MAINS AND THE OUTSIDE OF SUCH PIPELINES, OR SUCH CROSSINGS ARE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE (3) FEET FROM ALL JOINTS IN STORM SEWER AND RECLAIM WATER MAIN COVERED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX (6) FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAIN, OR RECLAIM WATER NOT COVERED UNDER PART III OF CHAPTER 62-610, F.A.C.

**RESTRAINED PIPE TABLE WATER AND RECLAIMED WATER MAINS**

| TYPE                  | MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S) |    |    |     |     |     |     |     |     |     |  |
|-----------------------|---|----|----|-----|-----|-----|-----|-----|-----|-----|--|
|                       | PIPE SIZE   |    |    |     |     |     |     |     |     |     |  |
|                       | 4"  | 6" | 8" | 10" | 12" | 16" | 20" | 24" | 30" | 36" |  |
| 90° BEND              | 20  | 29 | 37 | 44  | 51  | 65  | 77  | 89  | 105 | 120 |  |
| 45° BEND              | 8   | 12 | 15 | 18  | 21  | 27  | 32  | 37  | 44  | 50  |  |
| 22-1/2° BEND          | 4   | 6  | 7  | 9   | 10  | 13  | 15  | 18  | 21  | 24  |  |
| 11-1/4° BEND          | 2   | 3  | 4  | 5   | 6   | 7   | 8   | 9   | 10  | 12  |  |
| PLUG OR BRANCH OF TEE | 42  | 59 | 77 | 93  | 108 | 138 | 166 | 194 | 231 | 265 |  |
| VALVE                 | 21  | 30 | 39 | 47  | 54  | 69  | 83  | 97  | 116 | 133 |  |

**NOTES:**

- FITTINGS SHALL BE RESTRAINED JOINTS UNLESS OTHERWISE INDICATED.
- INSTALL FULL LENGTH JOINTS WITH TOTAL LENGTH EQUAL TO OR GREATER THAN SHOWN IN THE TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- ALL LINE VALVES AND THROUGH RUN OF TEES SHALL BE RESTRAINED.
- LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:  
 WORKING PRESSURE: 150 PSI  
 SOIL DESIGNATION: SM (SAND SILT)  
 LAYING CONDITIONS: 3
- FOR HDPE, PVC OR PIPE ENCASED IN POLYETHYLENE, INCREASE THE GIVEN VALUE BY A FACTOR OF 1.25.

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**RICHARD V. BALDOCCHI**  
P.E. #38092

**HAVEN OAKS**

**CONSTRUCTION PLANS**

**UTILITY DETAILS 4**

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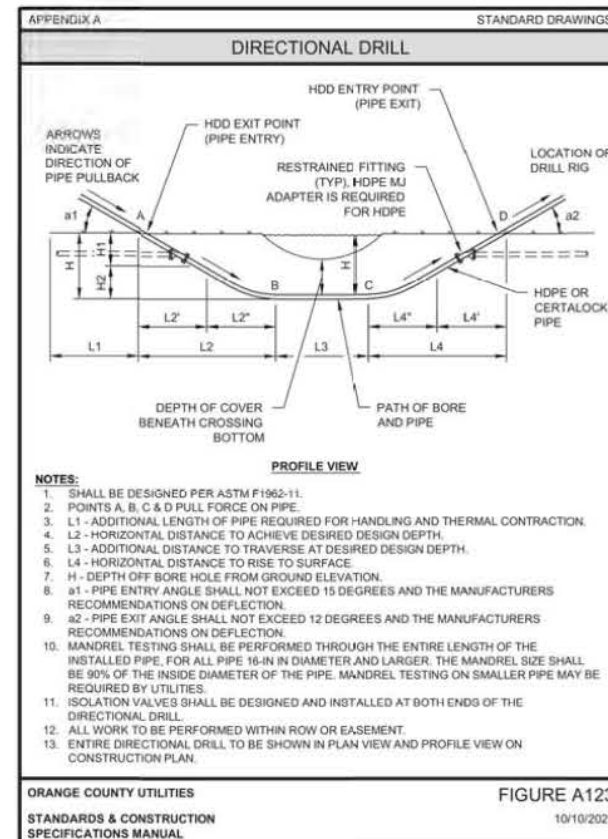
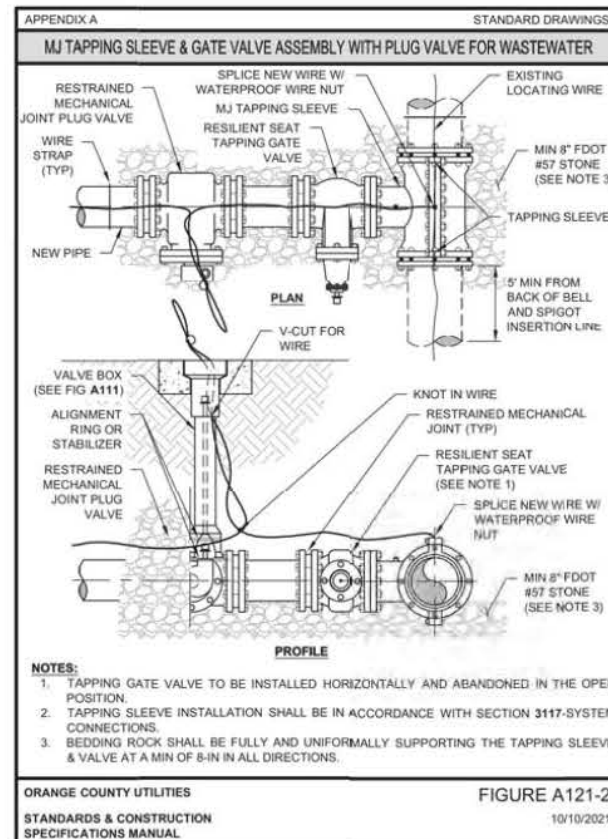
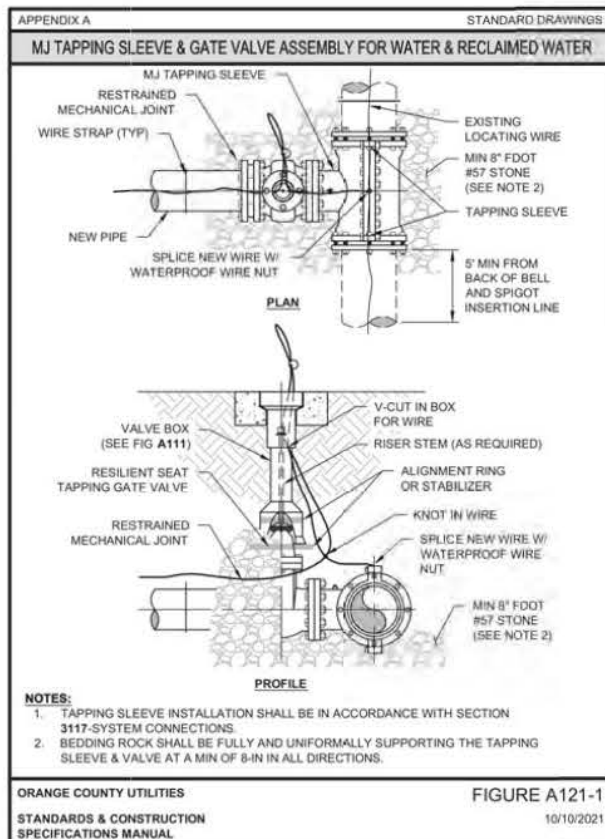
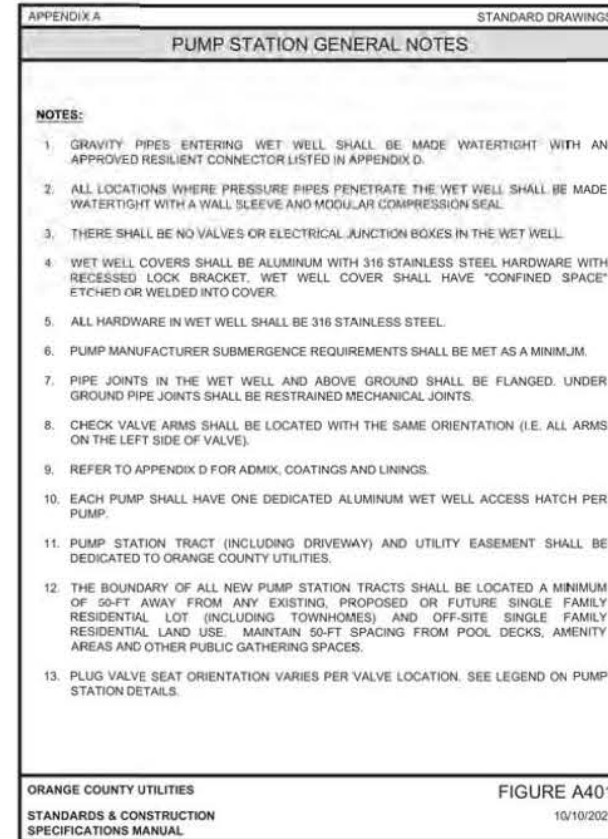
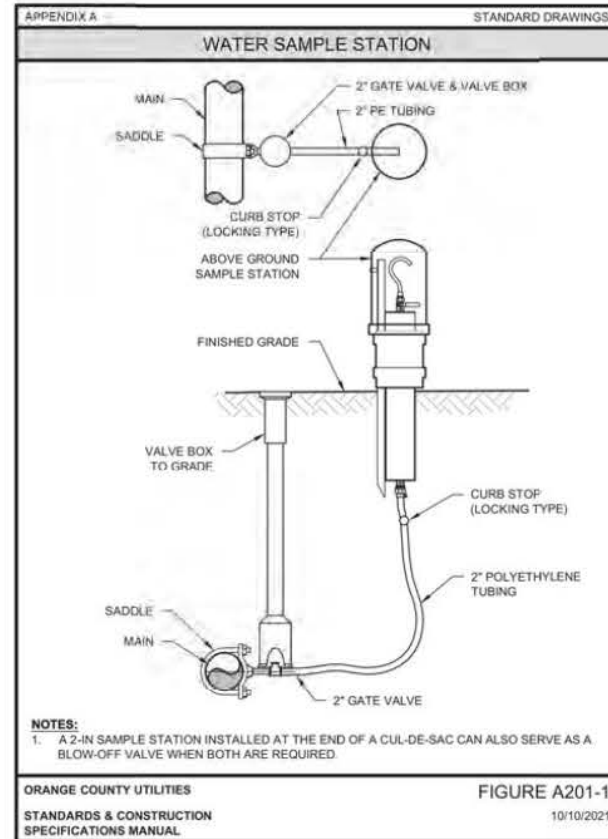
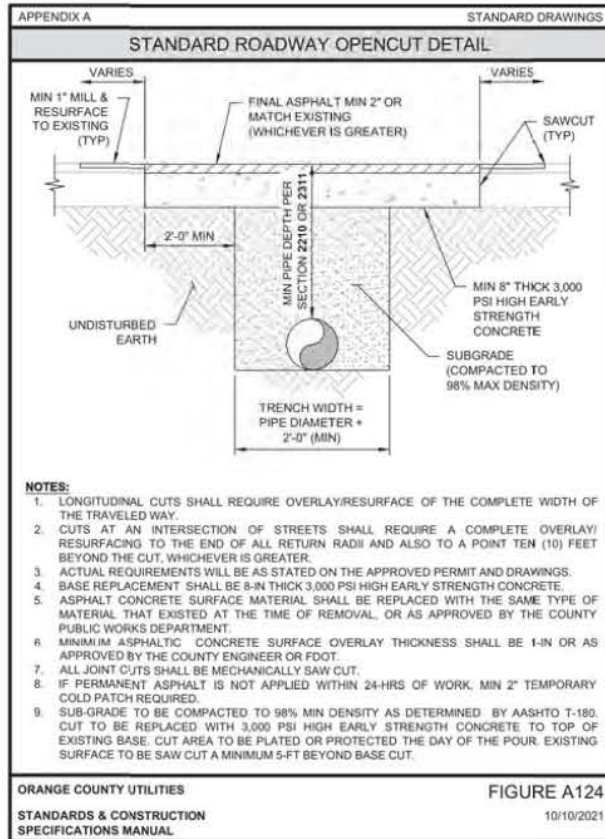
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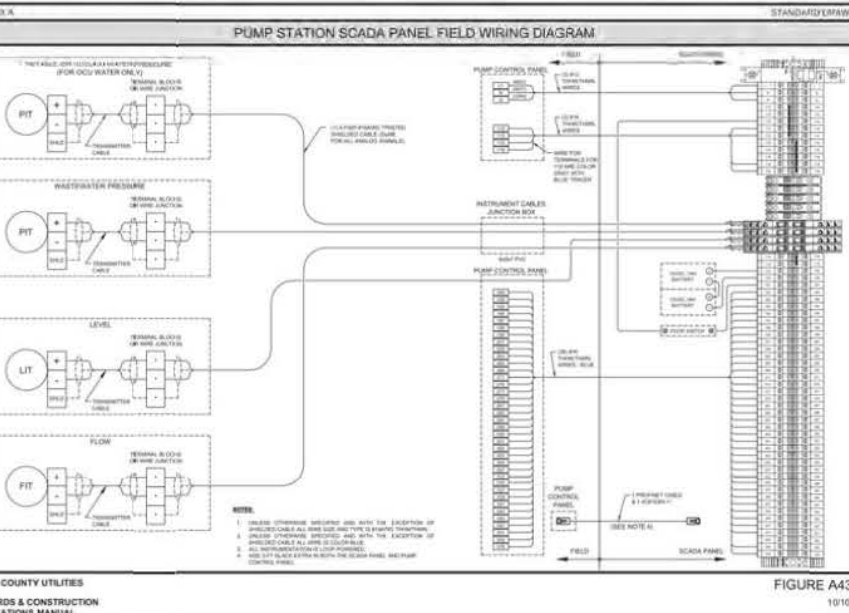
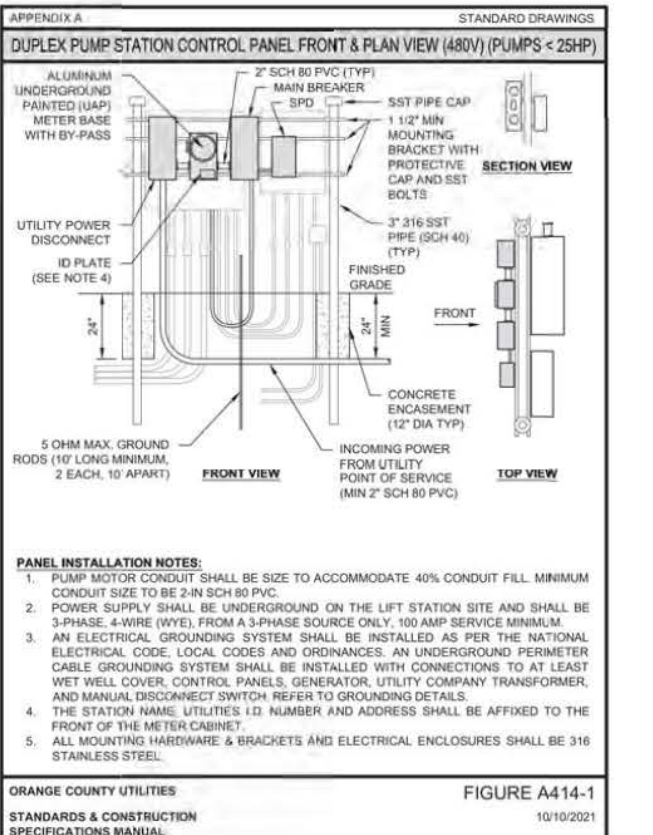
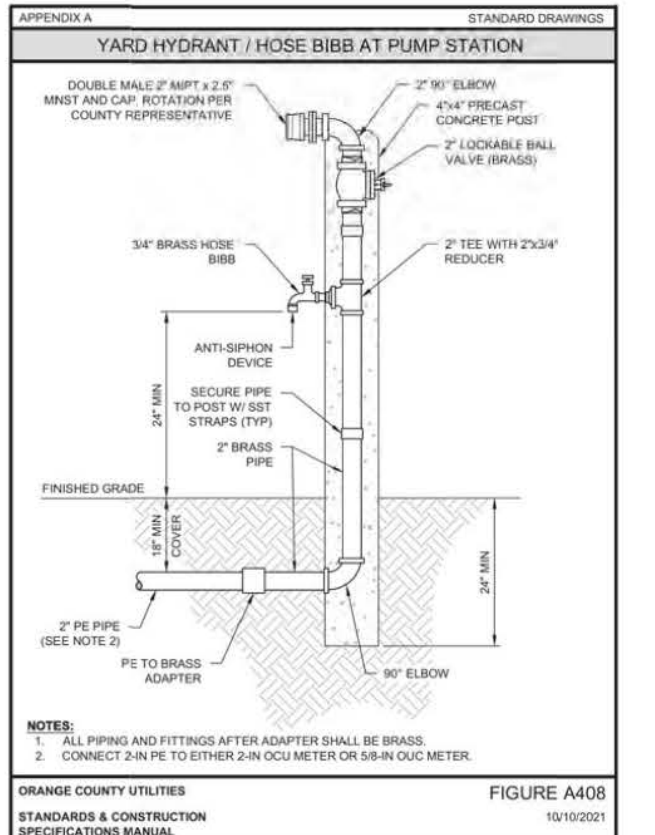
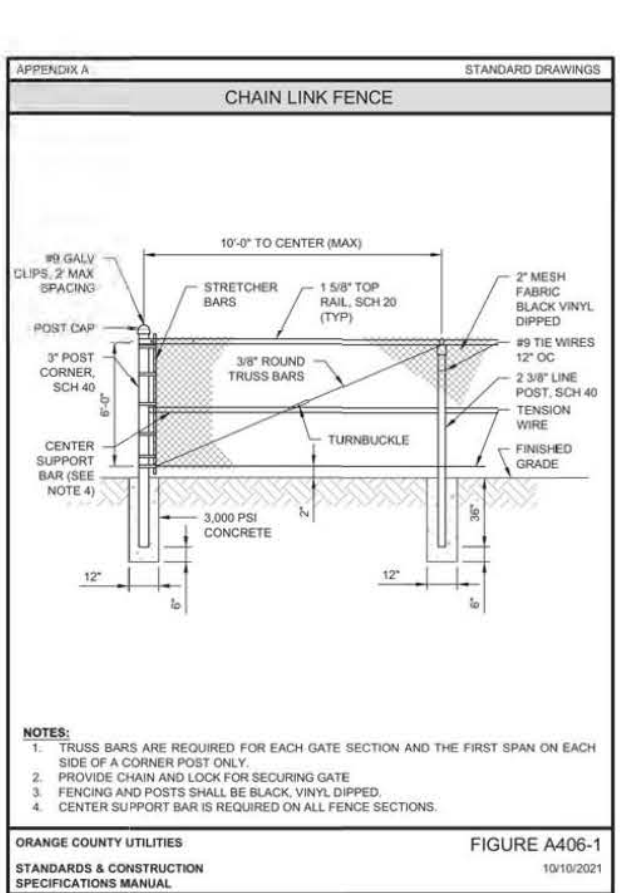
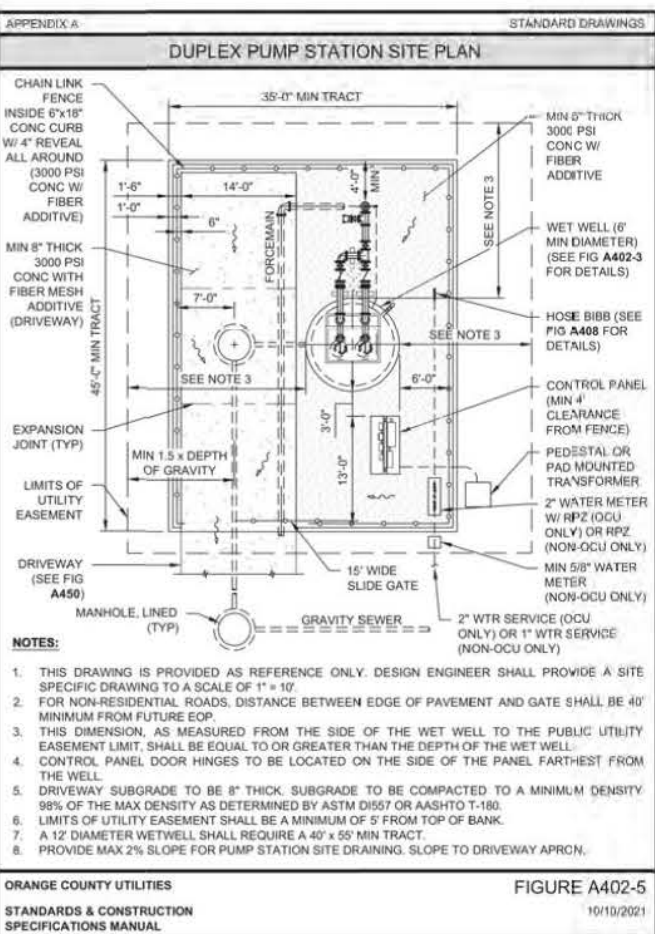
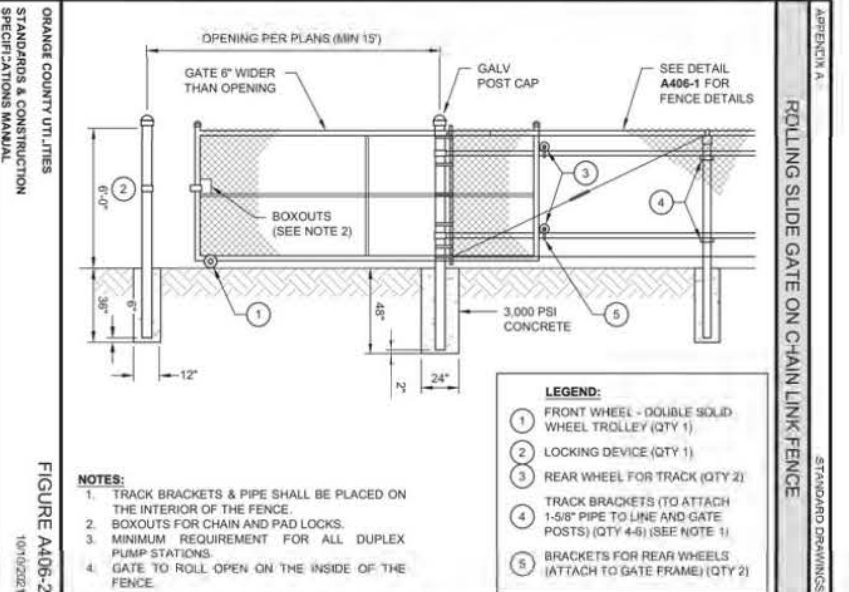
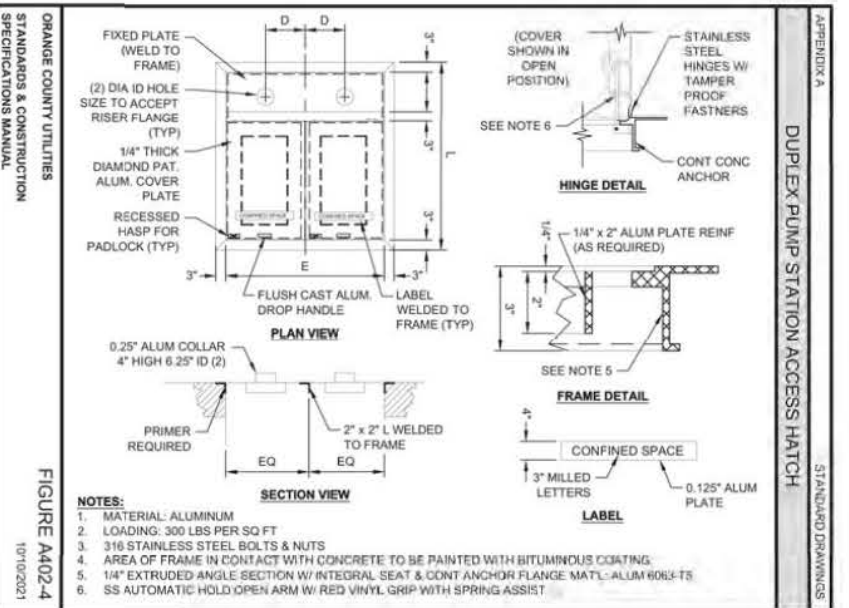
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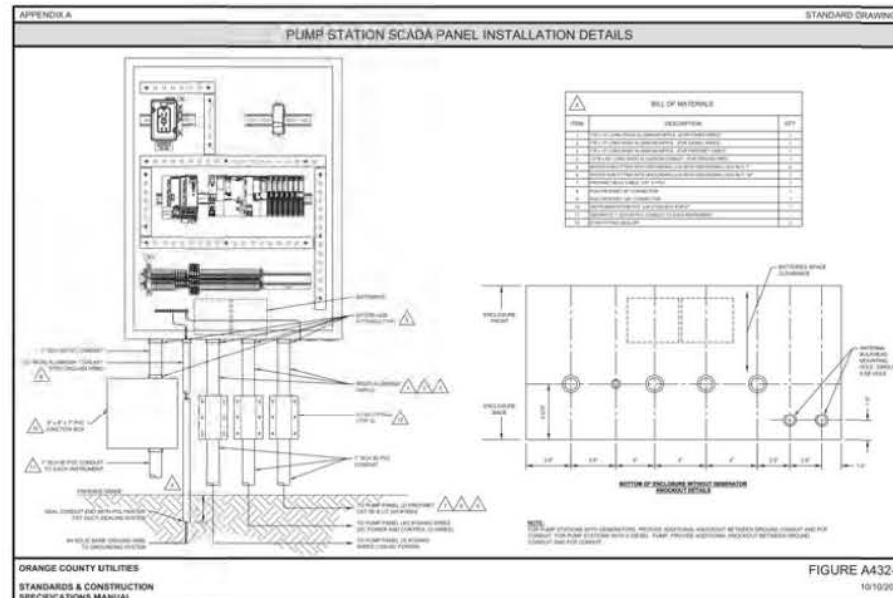
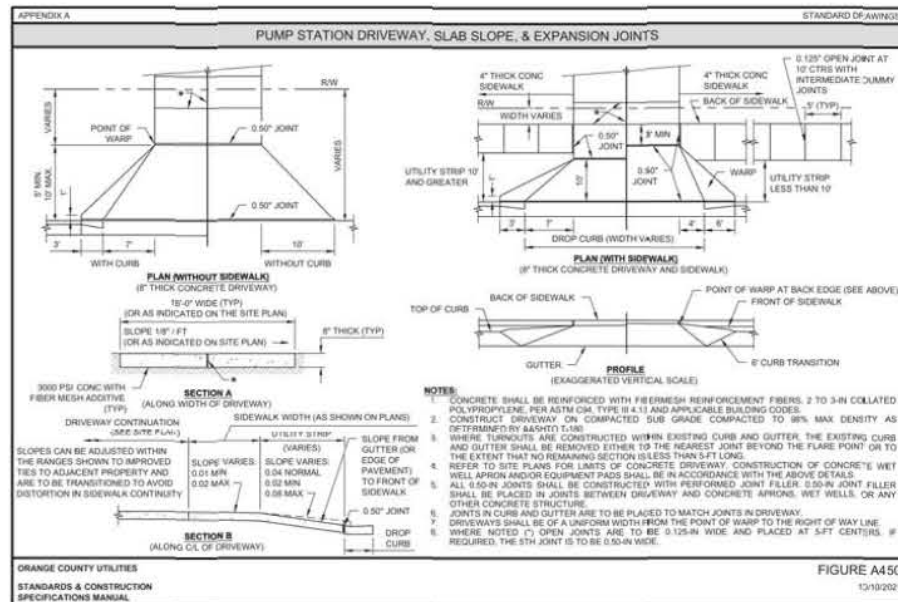
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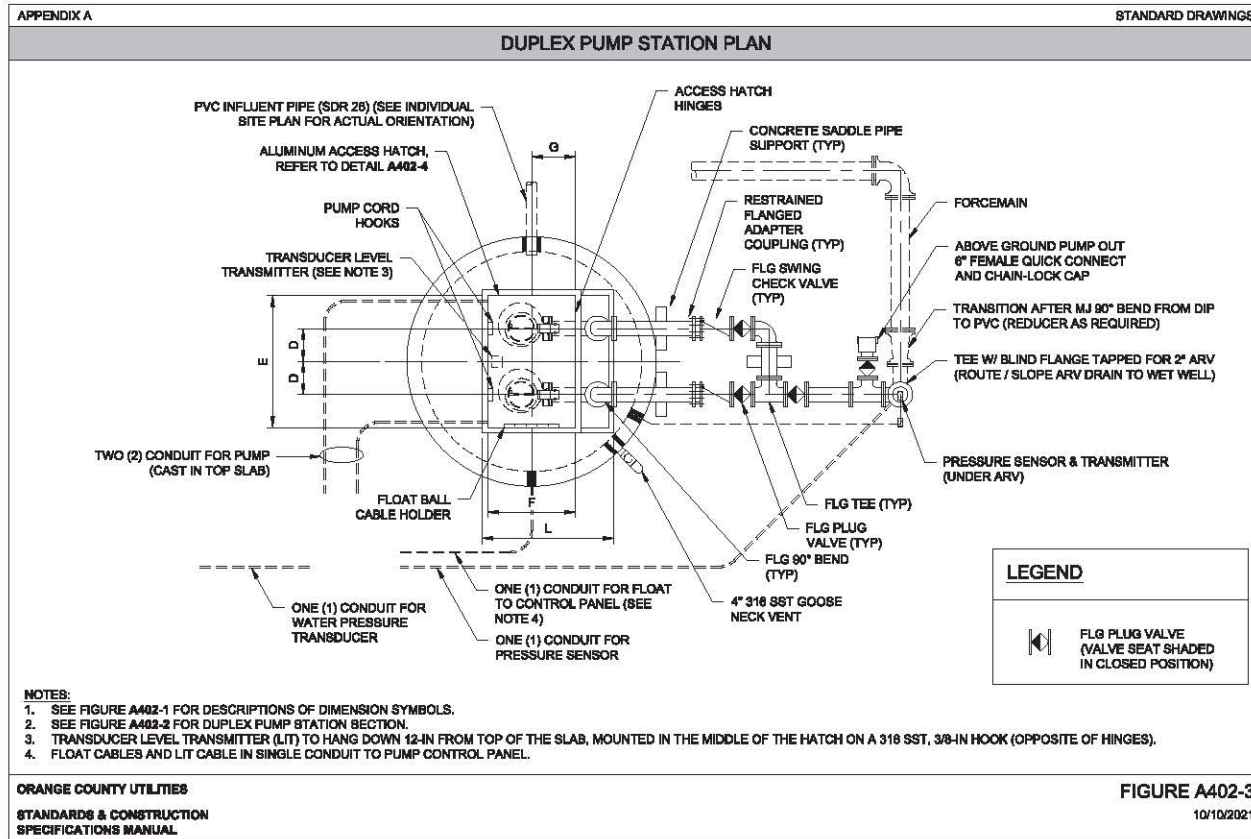
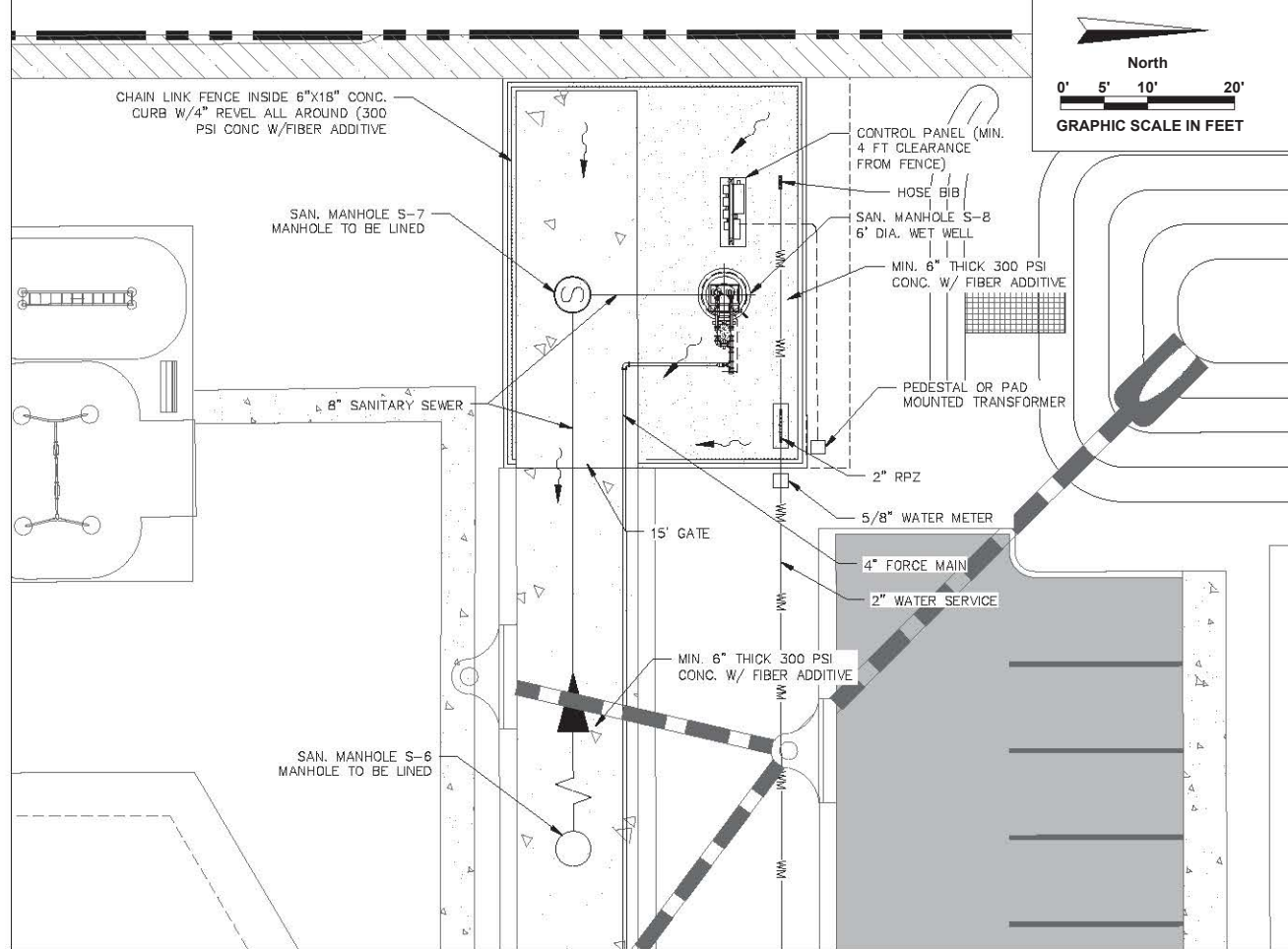
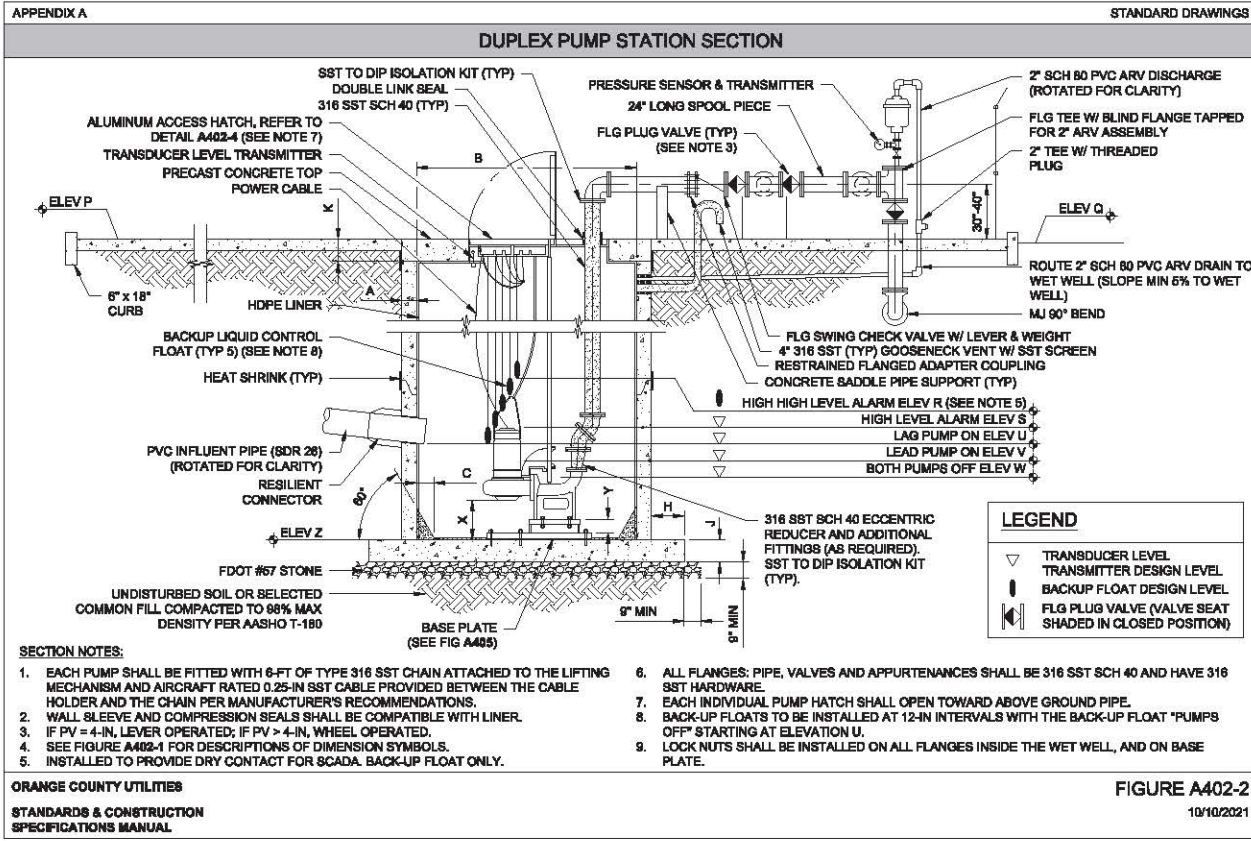
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APPENDIX A STANDARD DRAWINGS

### DUPLEX PUMP STATION DESIGN SPECIFICATIONS

PUMP STATION ID: \_\_\_\_\_

| MANUFACTURER: FLYGT     |   | DESIGN A SPECIFICATIONS |                             | MANUFACTURER: ABS       |                             | DESIGN B SPECIFICATIONS |                             |
|-------------------------|---|-------------------------|-----------------------------|-------------------------|-----------------------------|-------------------------|-----------------------------|
| PUMP MODEL:             | NP3153 SH 3                             | VOLTAGE:                | 460                         | PUMP MODEL:             |                             | VOLTAGE:                |                             |
| IMPELLER MODEL:         | 275                                     | PHASE:                  | 3                           | IMPELLER MODEL:         |                             | PHASE:                  |                             |
| IMPELLER DIAMETER (MM): | 158                                     | MOTOR H.P.:             | 20                          | IMPELLER DIAMETER (MM): |                             | MOTOR H.P.:             |                             |
| NOMINAL SPEED (RPM):    | 3500                                    | MAX. SOLID SIZE (IN):   | 4                           | NOMINAL SPEED (RPM):    |                             | MAX. SOLID SIZE (IN):   |                             |
| DISCHARGE SIZE (IN):    | 3                                       | CURVE NUMBER:           | 9906                        | DISCHARGE SIZE (IN):    |                             | CURVE NUMBER:           |                             |
| PEAK DESIGN INFLOW:     | 36 GPM                                  | SHUT OFF HEAD:          | 92.75 FEET TDH              | PEAK DESIGN INFLOW:     | _____ GPM                   | SHUT OFF HEAD:          | _____ FEET TDH              |
| HIGH HEAD CONDITION:    | 16.3 GPM AT 120 FEET TDH (DESIGN POINT) | HIGH HEAD CONDITION:    | _____ GPM AT _____ FEET TDH | HIGH HEAD CONDITION:    | _____ GPM AT _____ FEET TDH | HIGH HEAD CONDITION:    | _____ GPM AT _____ FEET TDH |
| MINIMUM HEAD CONDITION: | 161 GPM AT 119 FEET TDH                 | MINIMUM HEAD CONDITION: | _____ GPM AT _____ FEET TDH | MINIMUM HEAD CONDITION: | _____ GPM AT _____ FEET TDH | MINIMUM HEAD CONDITION: | _____ GPM AT _____ FEET TDH |

| DESCRIPTION                          | SYMBOL | DIM            | DESIGN ELEV * | AS-BUILT ELEV | AS-BUILT DEPTH ** | DESIGN A & B SPECIFICATION NOTES   |
|--------------------------------------|--------|----------------|---------------|---------------|-------------------|--|
| THICKNESS OF WALL                    | A      | 8" (MIN)       | -             | -             | -                 | 1. PER PUMP MANUFACTURER REQUIREMENTS.   |
| DIAMETER OF WET WELL                 | B      | 6" (MIN)       | -             | -             | -                 | 2. DIMENSION X AND ELEVATION Y AND Z MUST MEET BOTH PUMP MFR'S REQUIREMENTS.   |
| WIDTH OF BOTTOM FILLET               | C      | SEE NOTE 1     | -             | -             | -                 | 3. EL V - EL Z > 5 FEET.   |
| C/L OF WET WELL TO C/L OF PIPES      | D      | SEE NOTE 1     | -             | -             | -                 | 4. ELEVATION OF HIGH HIGH LEVEL ALARM SHALL BE A MIN OF 12-IN LOWER THAN THE LOWEST MANHOLE LID ELEVATION IN THE UPSTREAM GRAVITY SYSTEM.  |
| LENGTH OF PUMP ACCESS OPENING        | E      | SEE NOTE 1     | -             | -             | -                 | 5. TOP ELEVATION OF WETWELL SHALL BE A MINIMUM OF 1-FT ABOVE THE 100-YEAR FLOOD ELEVATION AND THE ELEVATION OF THE CROWN OF THE ROAD.  |
| WIDTH OF PUMP ACCESS OPENING         | F      | SEE NOTE 1     | -             | -             | -                 | 6. PUMP OFF ELEVATION TO BE PER MANUFACTURER'S MINIMUM SUBMERGENCE.  |
| CENTER OF WET WELL TO EDGE OF HATCH  | G      | SEE NOTE 1     | -             | -             | -                 | * PROVIDE WET WELL DIMENSIONS SUFFICIENT TO ACCOMMODATE BOTH FLYGT AND ABS PUMP MODELS. THE LARGER / DEEPER OF THE TWO SHALL PREVAIL.  |
| LIP WIDTH OF WET WELL BASE           | H      | 18" (MIN)      | -             | -             | -                 | ** PROVIDE AS-BUILT DEPTH IN INCHES FROM TOP OF HATCH.   |
| THICKNESS OF WET WELL BASE           | J      | 12" (MIN)      | -             | -             | -                 | † POPULATE ELEV S, U, V, AND W WITH TRANSDUCER ELEV AND DEPTHS. THE TRANSDUCER SYSTEM SHALL CONTROL THE OPERATION OF THE PUMPS UNDER NORMAL OPERATING CONDITIONS. THERE SHALL ALSO BE A BACKUP FLOAT CONTROL SYSTEM. ELEV R "HIGH HIGH FLOAT", IS POSITIONED 36-IN ABOVE THE TRANSDUCER AT EL V. FOUR (4) ADDITIONAL FLOATS (NOT SHOWN ON THIS DRAWING) HIGH LEVEL, LAG, LEAD AND OFF, WILL BE POSITIONED BELOW THE HIGH HIGH FLOAT AT 12-IN INTERVALS AS SHOWN IN FIG A402-2. |
| THICKNESS OF WET WELL TOP SLAB       | K      | 12" (MIN)      | -             | -             | -                 |  |
| TOP OF WET WELL                      | P      | SEE NOTE 5     | -             | -             | -                 |  |
| FINISHED GRADE                       | Q      | PER DESIGN     | SEE SITE PLAN | -             | -                 |  |
| HIGH HIGH LEVEL ALARM (FLOAT ONLY)   | R      | ELEV S + 36"   | 95.5          | -             | -                 |  |
| HIGH LEVEL ALARM †                   | S      | ELEV U + 12"   | 95.0          | -             | -                 |  |
| LAG PUMP ON (INFLUENT PIPE INVERT) † | U      | ELEV V + 12"   | 94.5          | -             | -                 |  |
| LEAD PUMP ON †                       | V      | PER DESIGN     | 94.0          | -             | -                 |  |
| PUMPS OFF (SEE NOTE 6) †             | W      | PER DESIGN     | 92.75         | -             | -                 |  |
| BOTTOM OF PUMP                       | X      | SEE NOTE 2     | -             | -             | -                 |  |
| TOP OF STEP                          | Y      | SEE NOTE 2     | -             | -             | -                 |  |
| FLOOR OF WET WELL                    | Z      | SEE NOTE 2 & 3 | 89.40         | -             | -                 |  |

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STANDARDS & CONSTRUCTION SPECIFICATIONS MANUAL

**FIGURE A402-1**  
10/10/2021

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P.E. #38092

HAVEN OAKS

CONSTRUCTION PLANS

LIFT STATION & DETAILS PLAN

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NO. DATE BY DESCRIPTION

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DRAWN BY: BRE  
CHECKED BY: RVB  
APPROVED BY: RVB  
DATE: 01-13-2022

AVCON PROJECT No. 2019.0099.15

SHEET NUMBER  
**C-411**  
Page 61 of 111



RICHARD V. BALDOCCHI  
P.E. #38092

HAVEN OAKS  
CONSTRUCTION PLANS

HOLDEN AVENUE  
IMPROVEMENTS

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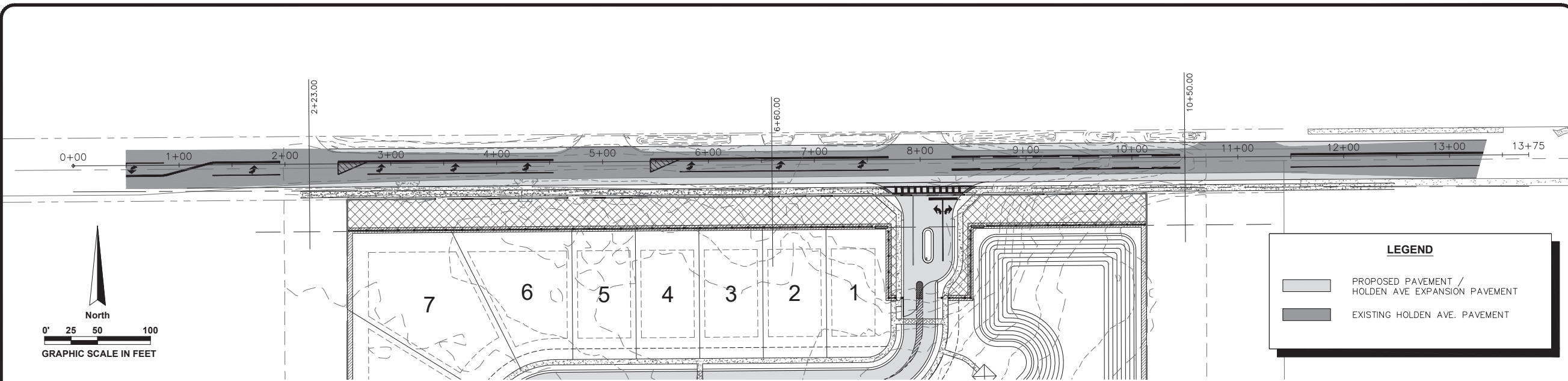
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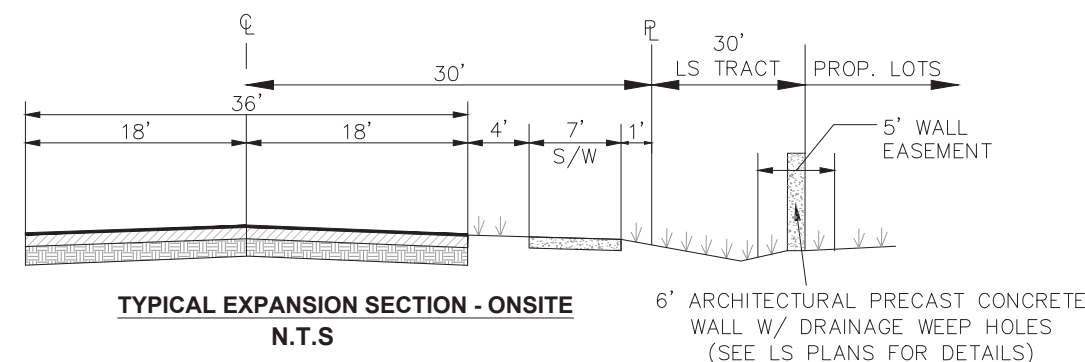
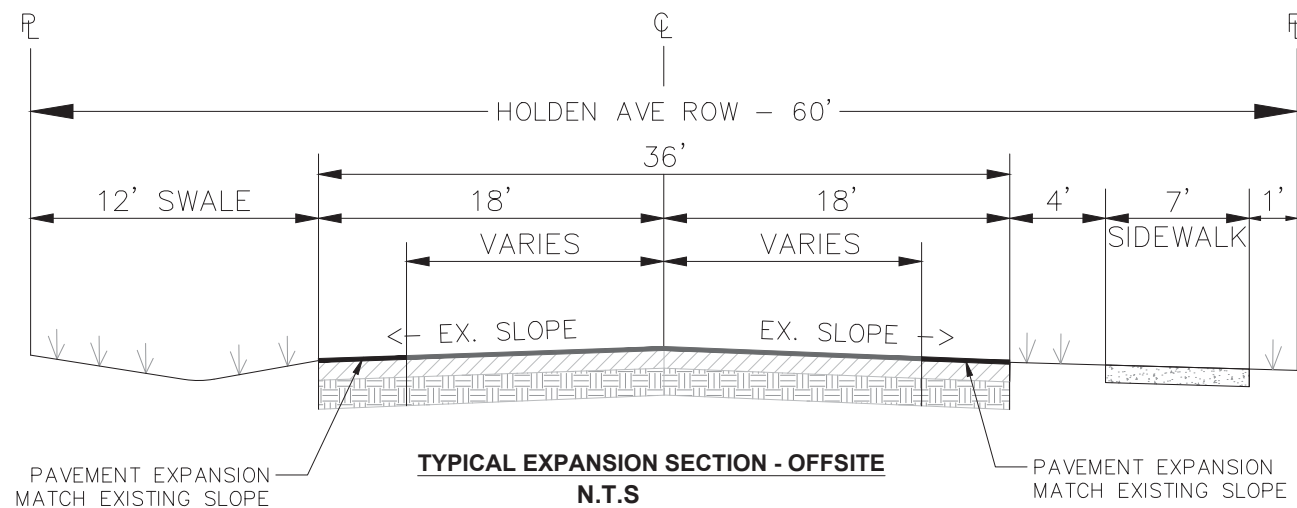
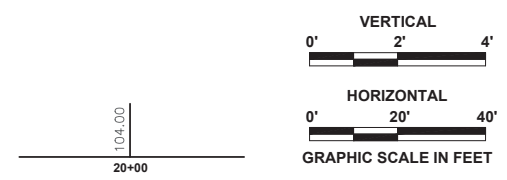
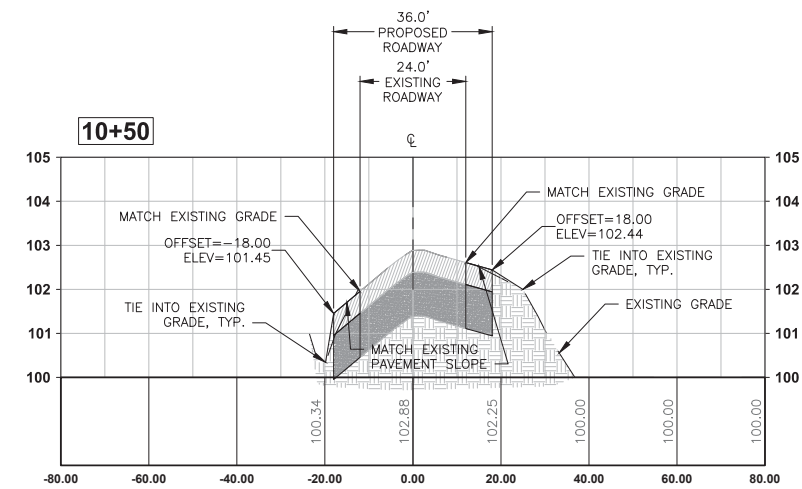
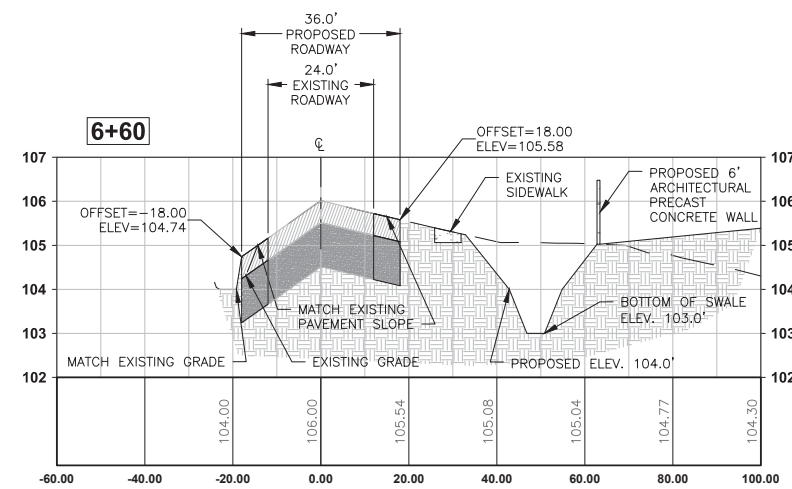
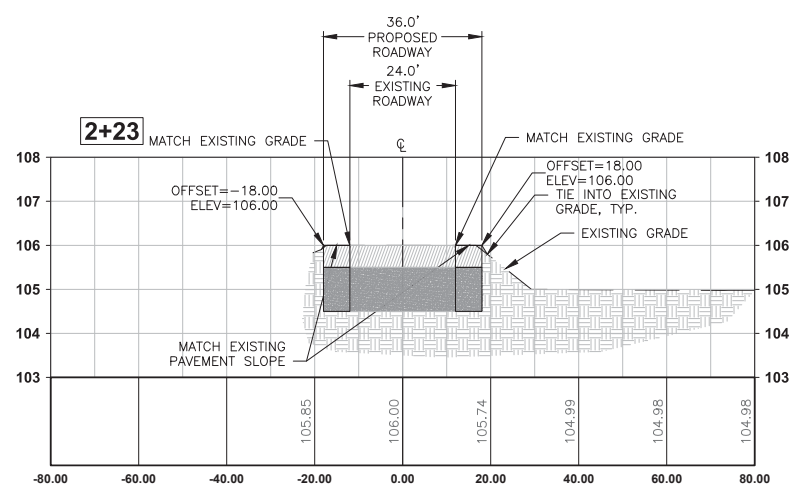
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APPROVED BY: RVB  
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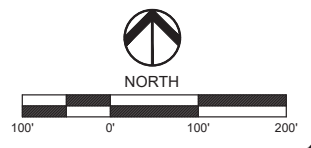
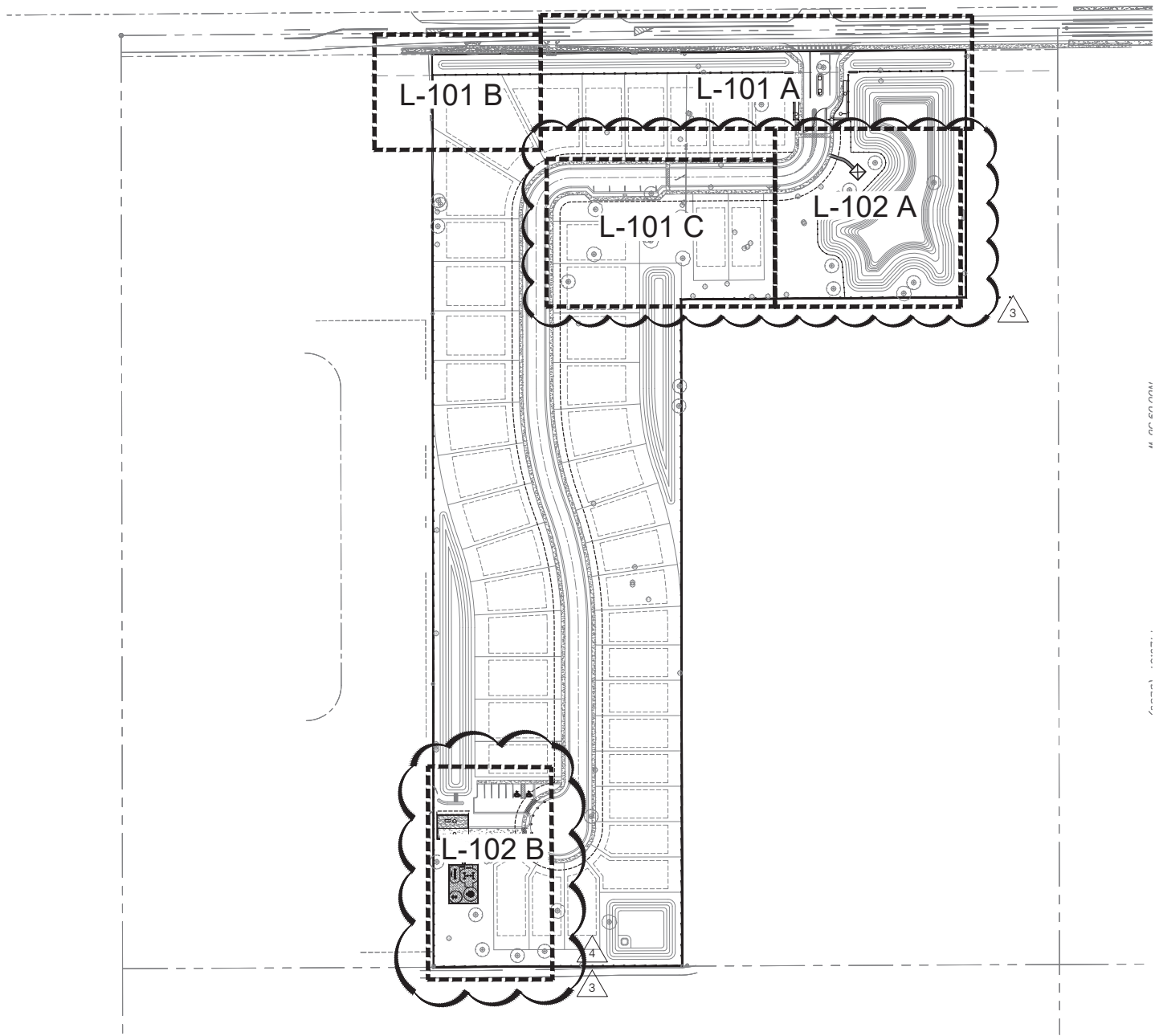
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OVERALL CROSS SECTION PLAN



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Key Sheet  
Landscape Plan  
Haven Oaks  
Orlando, Florida

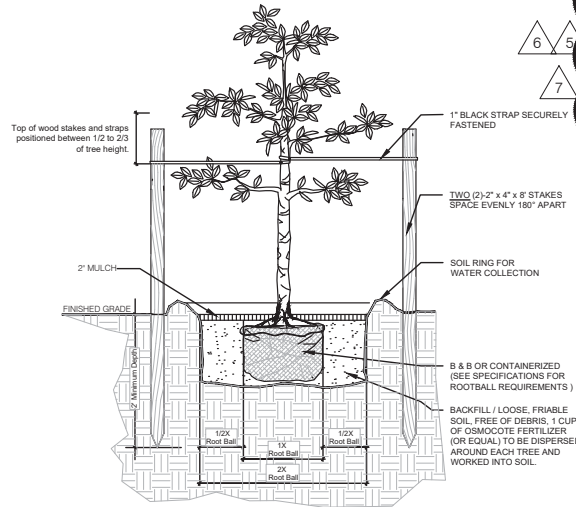
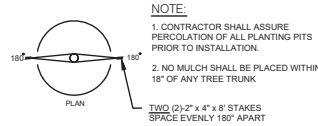
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| 2   | 11/19/20 | Revisions per City Comments dated 11.12.20 | agm |

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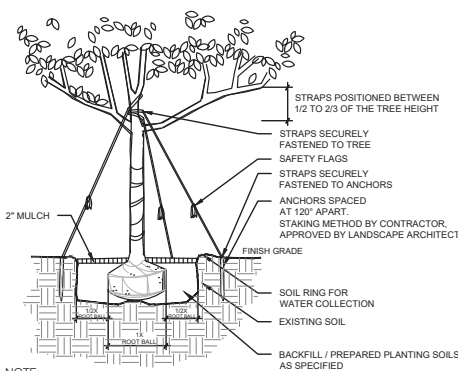
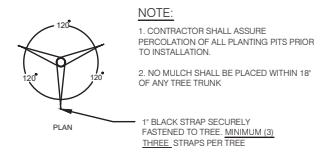


# PLANT DETAILS



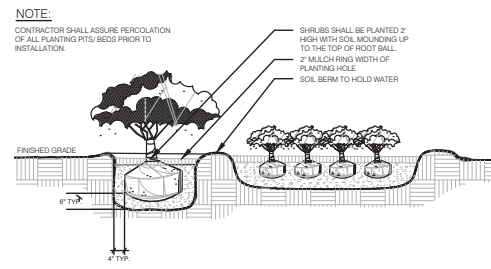
**SMALL TREE GUYING DETAIL**

Detail for trees between 1" and 2.5" cal. NOT TO SCALE



**LARGE TREE GUYING DETAIL**

Detail for trees greater than 3" cal. NOT TO SCALE



**SHRUB AND GROUND COVER DETAIL**

# PLANT SCHEDULE

| Quantity  | SIMBOL | Botanical                   | Common             | Specifications  |
|-----------|--------|-----------------------------|--------------------|---|
| 69        | AD     | Asparagus aethiopicus       | Foxtail Fern       | Min. 3 gal., Full Pot 24" o.c.                        |
| 6         | BN     | Bismarckia nobilis          | Bismarck Palm      | 10' Clear Trunk                                       |
| 45        | CA     | Crinum asiaticum            | Crinum Lily        | Min. 7 gal., 24" ht. x 24" spd.                       |
| 215       | DE     | Duranta erecta 'Gold Mound' | Gold Mound Duranta | Min. 7 gal., 24" ht. x 24" spd. 30" o.c.              |
| 29        | LJT    | Ligustrum japonicum         | Japanese Privet    | Min. 30 gal., 8' ht., 8" o.c., 3 steams, 3/4" caliper |
| 16        | QV     | Quercus virginiana          | Southern Live Oak  | Min. 200 gal., 16' ht., 5" cal.                       |
| 366       | TAM    | Trachelospermum asiaticum   | Asian Jasmine      | Min. 1 gal., full pot 18" o.c.                        |
| 21        | VS     | Viburnum suspensum          | Sandankwa Viburnum | Min. 7 gal., 20" ht. x 20" spd., 36" o.c.             |
| 47,663 SF | SOD A  | St. Augustine Sod           |                    |   |

**PLANT SCHEDULE**

# GENERAL LANDSCAPE NOTES

- Landscape Contractor shall be responsible for all materials and plants as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at time of bidding.
- All plant material shall be graded Florida No. 1 or better, as outlined by "Grades and Standards for Nursery Plants", Florida Department of Agriculture and Consumer Services, division of Plant Industry.
- All planting shall be top dressed with a minimum of 2" pine bark.
- The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shrubs and shall be legally liable for any damage caused by instability of plant material. The staking method, if not shown by detail on this plan, shall be approved by the owner or his/her authorized representative.
- Every possible safeguard shall be taken to protect existing trees that are shown on the landscape plan to be preserved.
- The Landscape Contractor is responsible for cleaning all debris associated with their work.
- Height and spread specifications refer to the overall plant form. Singular branches may not be used to meet minimum requirements. Tree size to be measured at DBH 4.5' above grade.
- All landscaping shall be installed according to accepted commercial planting procedures. Soil, shall be free of limerock, pebbles, or other construction debris.
- All landscaping shall conform to the standards set forth in the city of Edgewood Land Development code (unless a higher standard is required per the Development agreement). Landscape plan is required to be submitted with the development plan review.
- Landscaping shall not interfere with power lines, sewer, water pipes or any other existing or proposed utilities.
- All landscaping areas shall be 100% irrigated.
- Ball & burlap material shall be an acceptable alternative to container grown trees.
- Occasionally there is the potential for site modification due to revised field grading, clearing of existing tree canopy or other unforeseen conditions. The Landscape Contractor shall be responsible for informing the Owner and Landscape Architect of site conditions adverse to the healthy establishment of any plant material prior to planting so that a resolution may be achieved.
- The Landscape Contractor shall be responsible for arranging a pre-construction meeting with the Owner and Landscape architect in order to address and clarify any questions, concerns and/or conditions related to these drawings or the existing site.
- Landscape Contractor shall use appropriate container size to meet minimum plant height, if minimum plant height can not be met with specified container size.
- This Landscape plan has been prepared by a certified Landscape Architect who is registered in the State of Florida.
- Canopy / Shade Tree species will be selected from the following trees: Live Oak, Red Maple, Magnolia, Laurel Oak, Bald Cypress, Bottle Brush or Winged Elm. Additional tree species may be provided consistent with the development agreement. Landscape plans will be provided with the Development Plan review.

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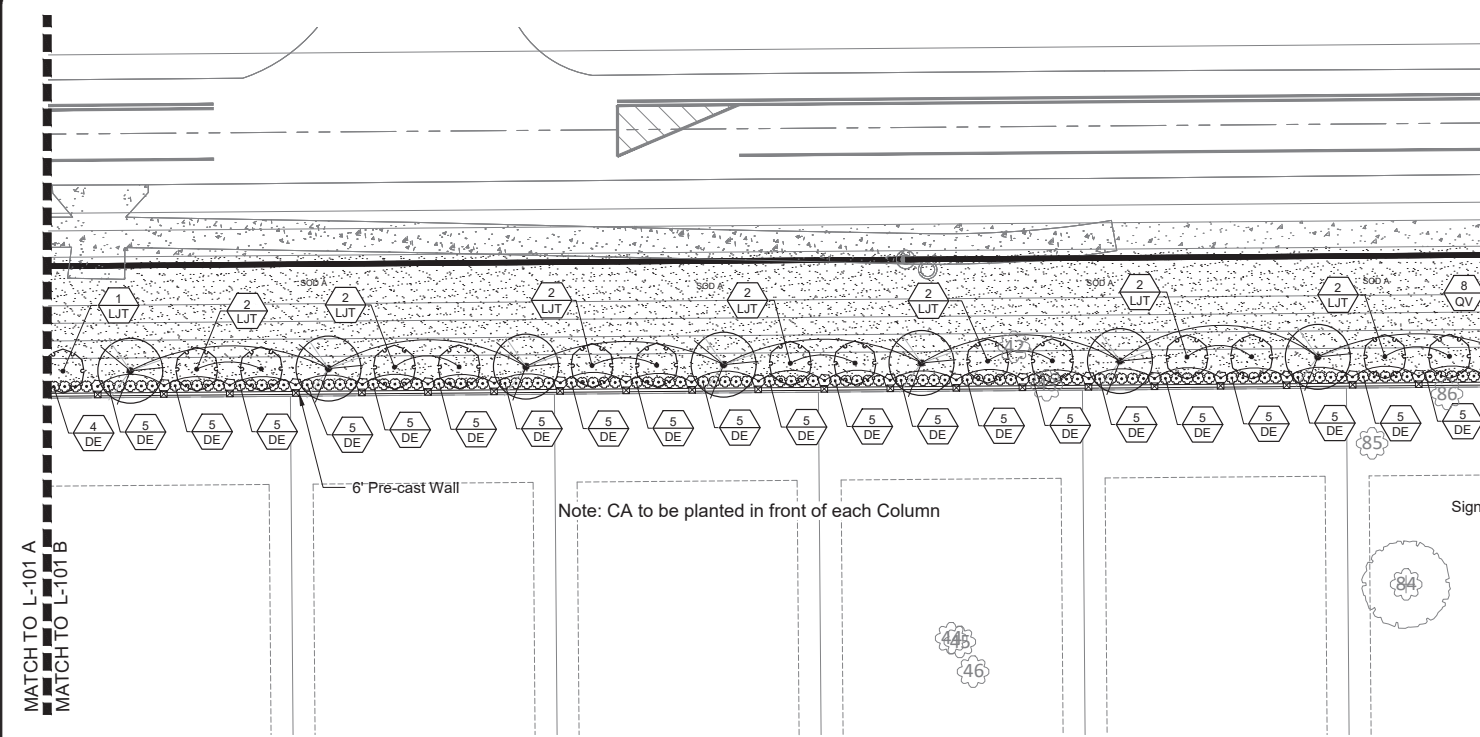
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| 3    | 6.23.21.21 |             |    |
| 4    | 9.7.2021   |             |    |
| 5    | 9.13.2021  |             |    |
| 6    | 9.23.2021  |             |    |
| 7    | 11.09.2021 |             |    |

Plant Schedule and Details  
Landscape Plan  
Haven Oaks  
Orlando, Florida

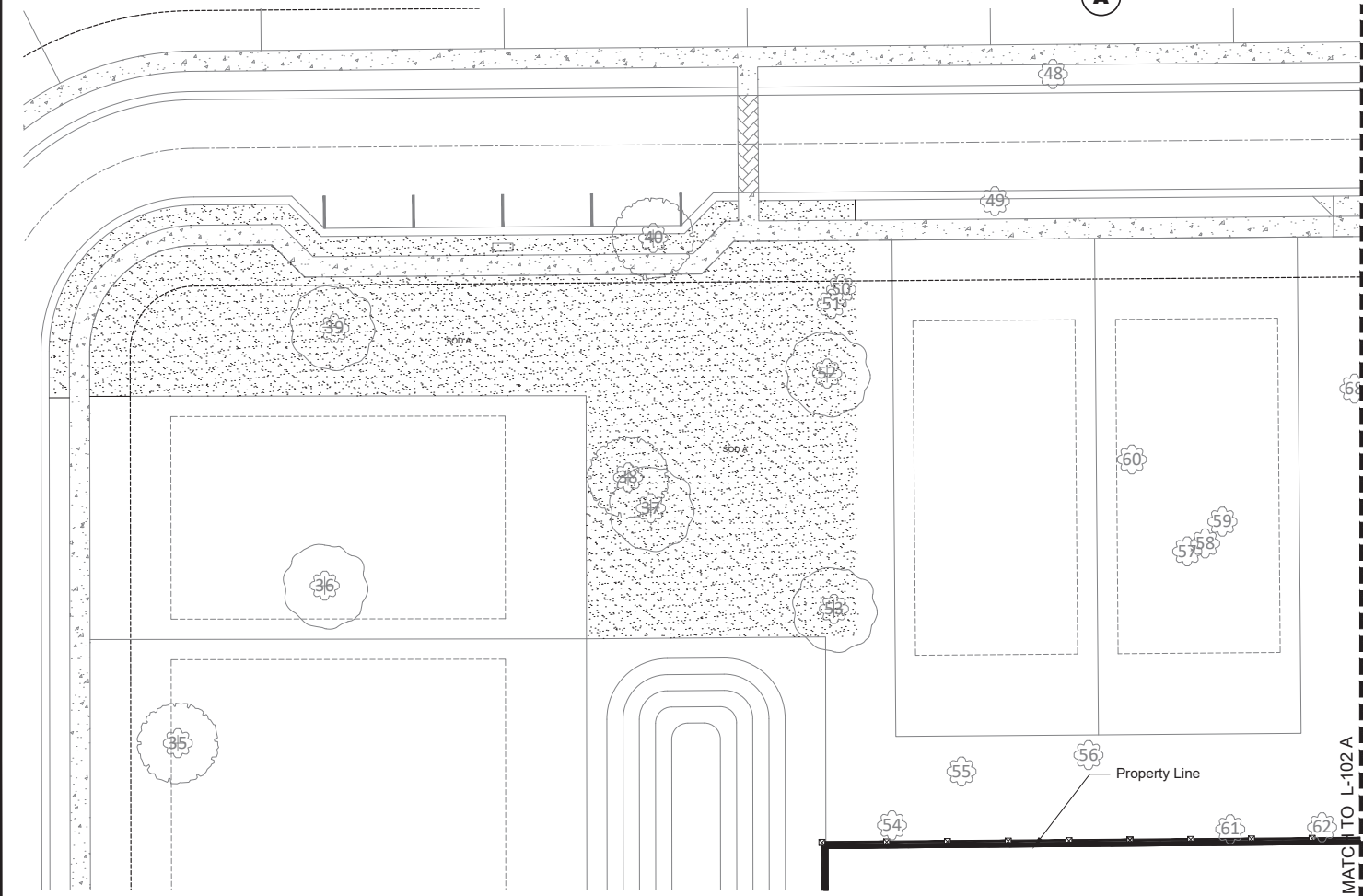


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SHEET  
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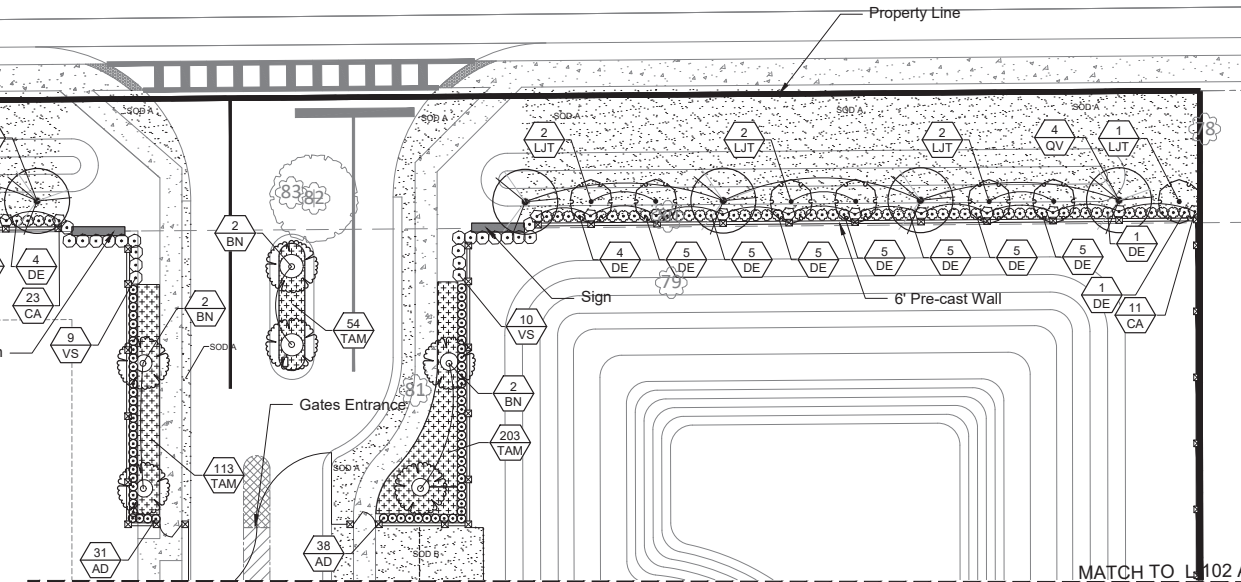
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**A PLAN VIEW LANDSCAPE TRACT**



**C PLAN VIEW TRACT D RECREATION**



**B PLAN VIEW TRACT D**

Note: The location of the landscaping shown does not necessarily correspond to the landscaping required in the Developer's Agreement (DA) and that consistency with the DA will be provided with the final landscape plans to be submitted with the Development Plan

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SCALE: 1"=20'

NORTH

MATCH TO L-101 A  
MATCH TO L-101 B

MATCH TO L-102 A  
MATCH TO L-101 A

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| 7   | 11.09.2021 | Revisions per City Comments                | GH  |
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| 5   | 9.13.2021  | Revisions per City Comments                | GH  |
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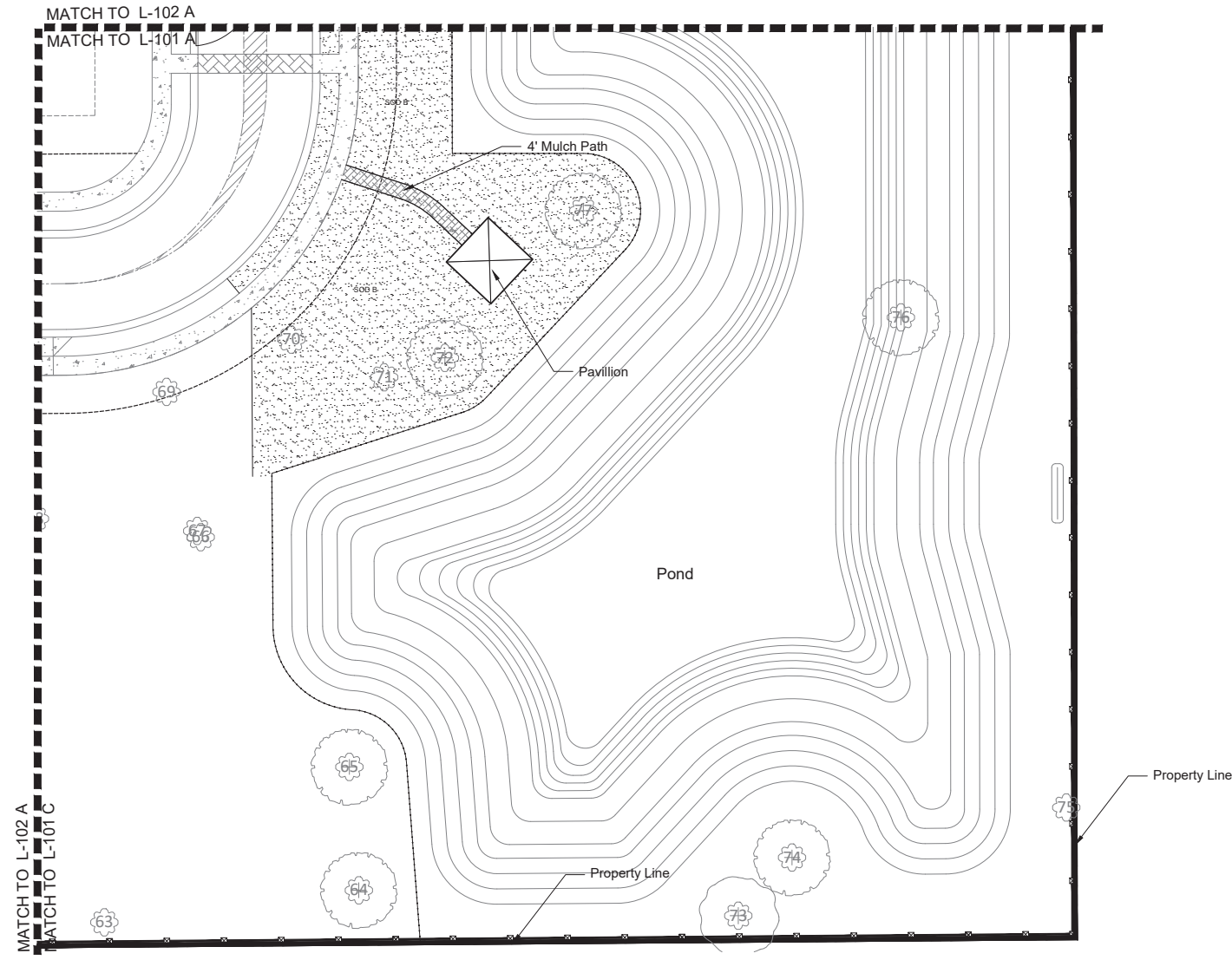
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Landscape Tract & Tract D  
Landscape Plan  
Haven Oaks  
Orlando, Florida

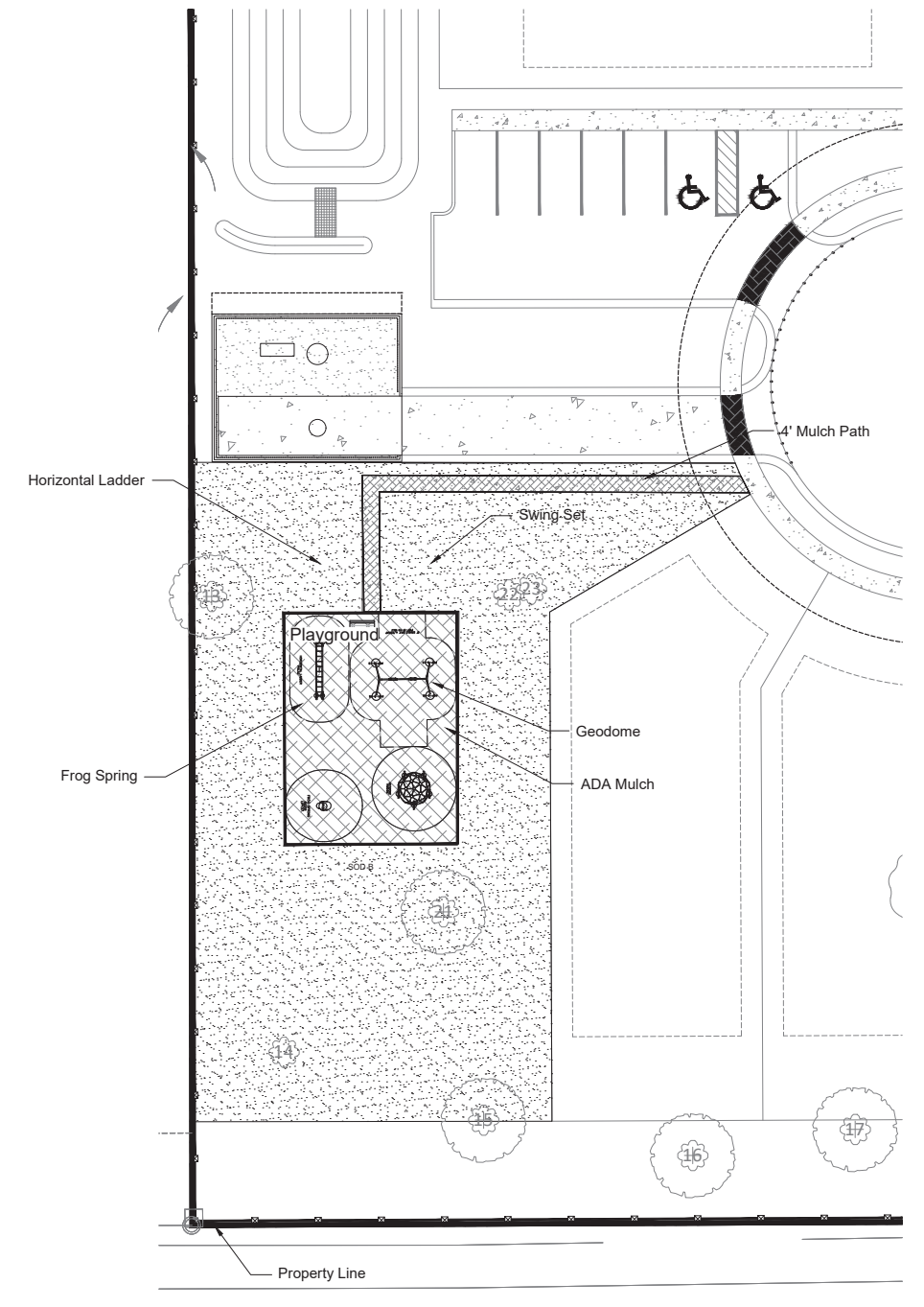


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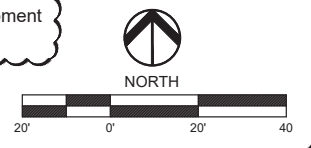


**A** PLAN VIEW LANDSCAPE TRACT  
SCALE: 1"=20'



**B** PLAN VIEW LANDSCAPE TRACT  
SCALE: 1"=20'

Note: The location of the landscaping shown does not necessarily correspond to the landscaping required in the Developer's Agreement (DA) and that consistency with the DA will be provided with the final landscape plans to be submitted with the Development Plan



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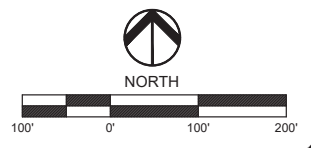
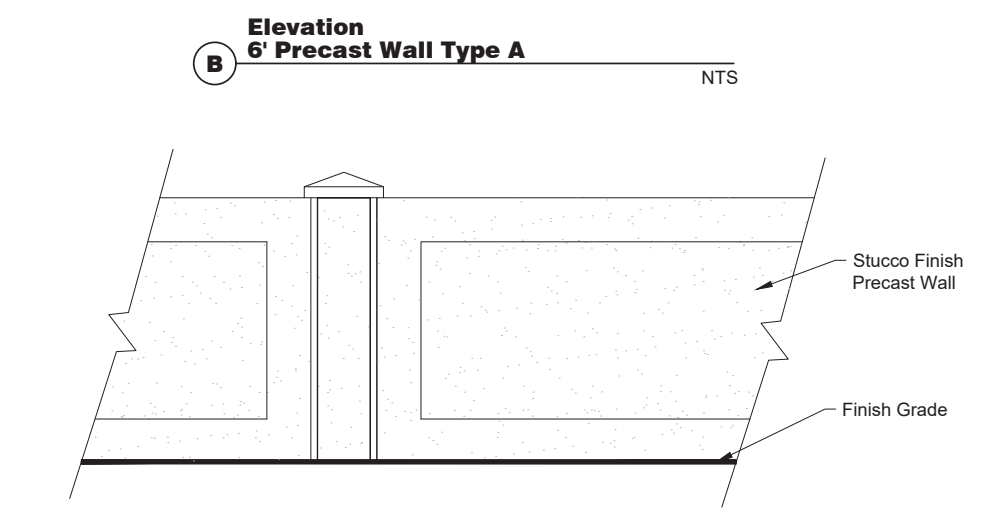
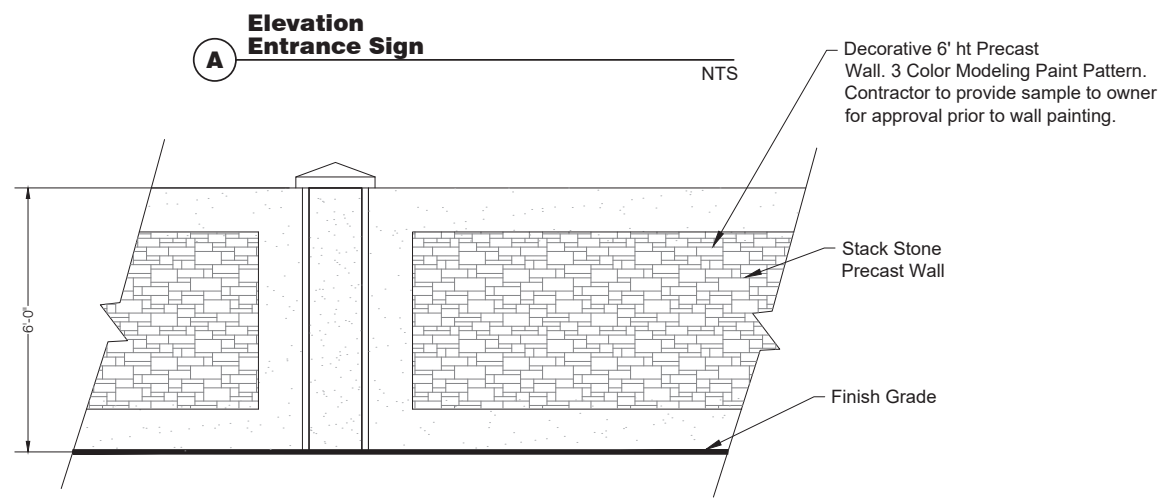
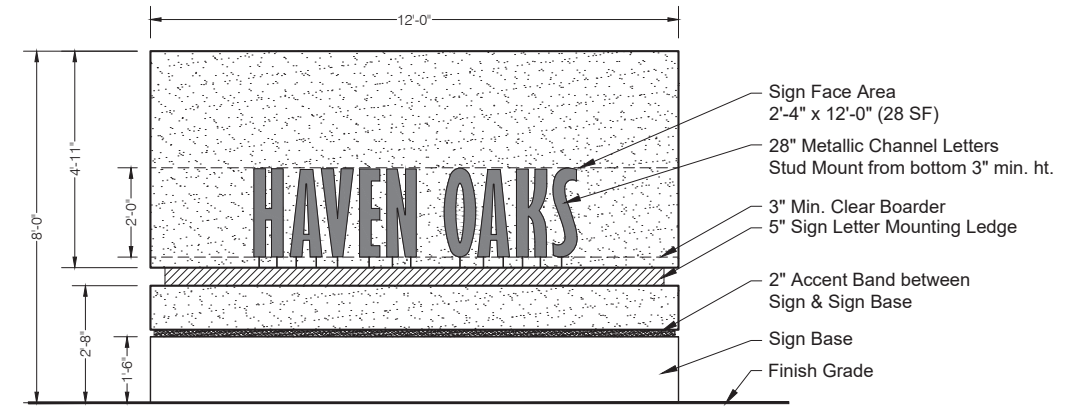
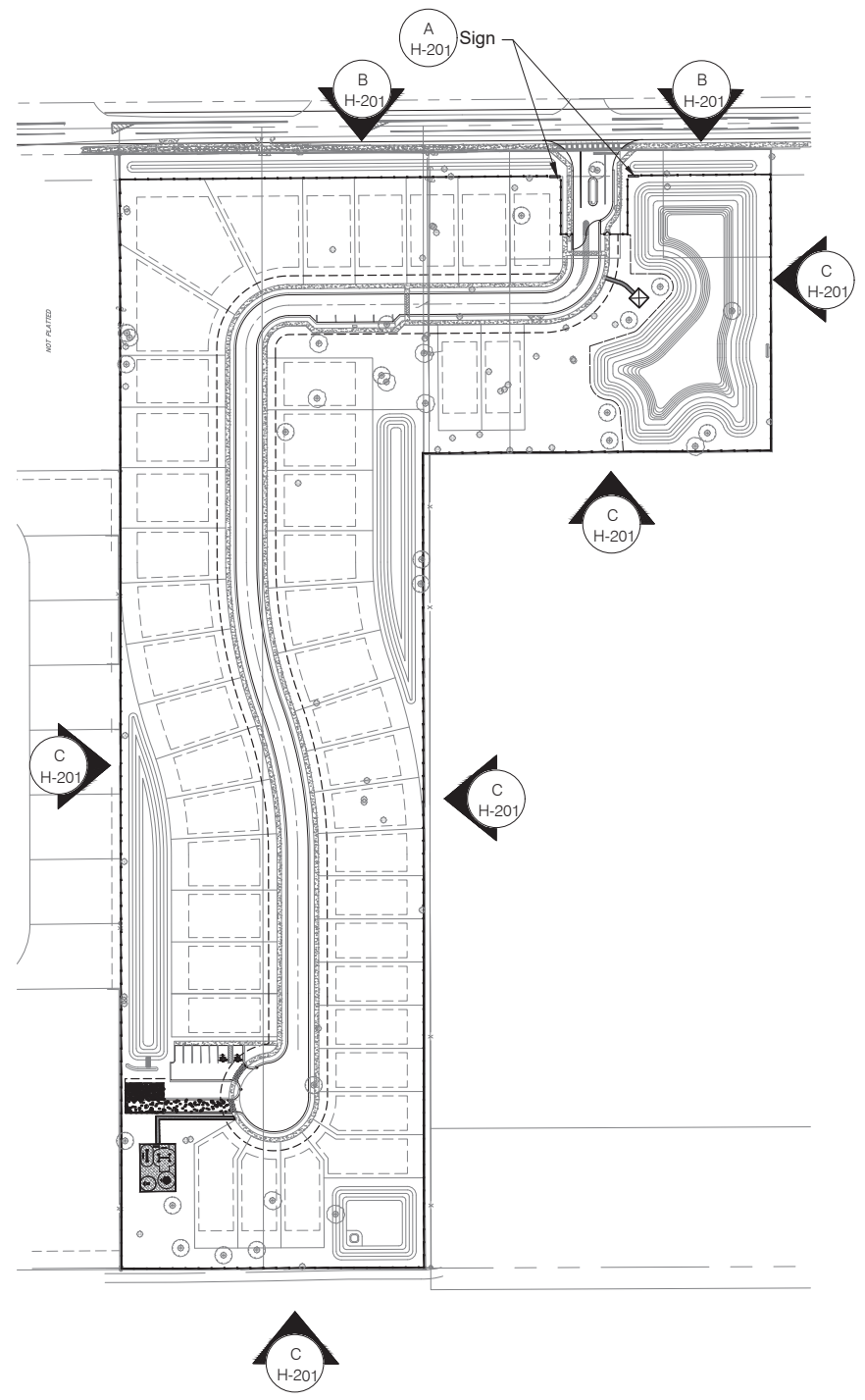
Landscape Tract & Tract D  
Landscape Plan  
Haven Oaks  
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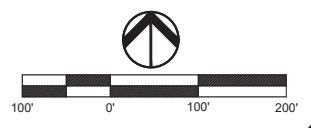
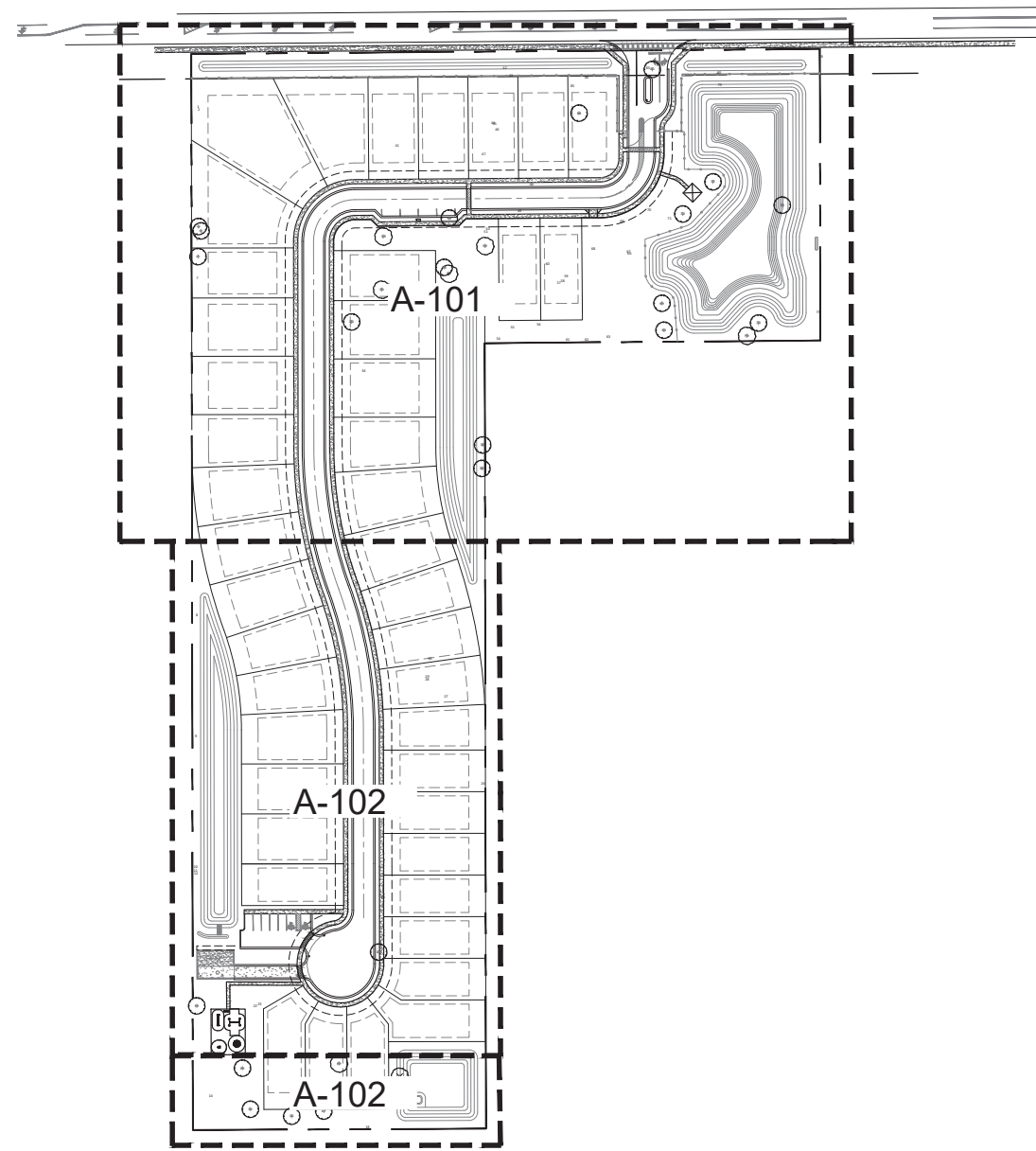
Sign & Wall Elevations  
Hardscape Plan  
Haven Oaks  
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Key Sheet  
Arbor Plan  
Haven Oak  
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Trees to be Saved

| Tree ID | Tree Species       | Tree Health | Tree DBH      | Saved      | Specimen 18" - 23" | Historic 24" > |
|---------|--------------------|-------------|---------------|------------|--------------------|----------------|
| 3       | Quercus laurifolia | Good        | 28            | 28         |                    | 28             |
| 4       | Quercus laurifolia | Good        | 25            | 25         |                    | 25             |
| 6       | Quercus laurifolia | Good        | 33            | 33         |                    | 33             |
| 13      | Quercus virginiana | Good        | 24            | 24         |                    | 24             |
| 15      | Quercus virginiana | Good        | 35            | 35         |                    | 35             |
| 16      | Quercus virginiana | Good        | 54            | 54         |                    | 54             |
| 17      | Quercus virginiana | Good        | 28            | 28         |                    | 28             |
| 21      | Quercus virginiana | Good        | 51            | 51         |                    | 51             |
| 32      | Quercus laurifolia | Good        | 25            | 25         |                    | 25             |
| 33      | Quercus laurifolia | Good        | 33            | 33         |                    | 33             |
| 37      | Quercus laurifolia | Good        | 19            | 19         | 19                 |                |
| 38      | Quercus laurifolia | Good        | 26            | 26         |                    | 26             |
| 39      | Quercus laurifolia | Good        | 19            | 19         | 19                 |                |
| 52      | Quercus laurifolia | Good        | 23            | 23         | 23                 |                |
| 53      | Quercus laurifolia | Good        | 22            | 22         | 22                 |                |
| 64      | Quercus virginiana | Good        | 31            | 31         |                    |                |
| 65      | Quercus virginiana | Good        | 31            | 31         |                    |                |
| 72      | Quercus virginiana | Good        | 31            | 31         |                    | 31             |
| 73      | Quercus laurifolia | Good        | 18            | 18         | 18                 |                |
| 74      | Quercus virginiana | Good        | 38            | 38         |                    | 38             |
| 76      | Quercus virginiana | Good        | 73            | 73         |                    | 73             |
| 77      | Quercus virginiana | Good        | 55            | 55         |                    | 55             |
|         |                    |             | <b>Totals</b> | <b>722</b> | <b>101</b>         | <b>559</b>     |

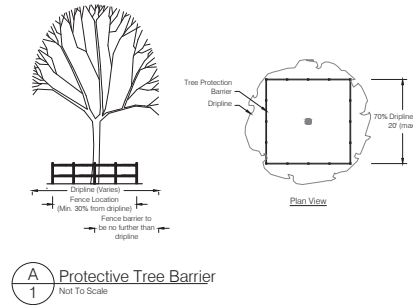
Trees to be Removed

| Tree ID | Tree Species       | Tree Health | Tree DBH      | Saved    | Removed    | Specimen 18" - 23" | Historic 24" > |
|---------|--------------------|-------------|---------------|----------|------------|--------------------|----------------|
| 19      | Quercus laurifolia | Good        | 19            |          | 19         | 19                 |                |
| 20      | Quercus virginiana | Good        | 18            |          | 18         | 18                 |                |
| 24      | Quercus laurifolia | Good        | 27            |          | 27         |                    | 27             |
| 35      | Quercus laurifolia | Good        | 24            |          | 24         |                    | 24             |
| 36      | Quercus virginiana | Good        | 18            |          | 18         | 18                 |                |
| 40      | Quercus laurifolia | Good        | 25            |          | 25         |                    | 25             |
| 41      | Quercus laurifolia | Good        | 24            |          | 24         |                    | 24             |
| 82      | Quercus virginiana | Good        | 38            |          | 38         |                    | 38             |
| 84      | Quercus virginiana | Good        | 30            |          | 30         |                    | 30             |
|         |                    |             | <b>Totals</b> | <b>0</b> | <b>223</b> | <b>55</b>          | <b>168</b>     |

Totals Trees to be removed: 9  
 Totals Trees to be replace: 9  
 The 9 trees to be replace, each tree is 6" and will be planted in the Park Tracts on the property.

Trees in Poor Condition

| Tree ID | Tree Species       | Tree Health | Tree DBH |
|---------|--------------------|-------------|----------|
| 1       | Quercus laurifolia | Poor        | 31       |
| 2       | Quercus laurifolia | Poor        | 35       |
| 5       | Quercus laurifolia | Poor        | 25       |
| 7       | Quercus laurifolia | Poor        | 47       |
| 8       | Quercus laurifolia | Poor        | 23       |
| 9       | Quercus laurifolia | Poor        | 28       |
| 10      | Quercus laurifolia | Poor        | 19       |
| 11      | Quercus laurifolia | Poor        | 21       |
| 12      | Quercus laurifolia | Poor        | 20       |
| 14      | Quercus virginiana | Poor        | 55       |
| 18      | Quercus laurifolia | Poor        | 38       |
| 22      | Quercus laurifolia | Poor        | 38       |
| 23      | Quercus laurifolia | Poor        | 28       |
| 25      | Quercus laurifolia | Poor        | 24       |
| 26      | Quercus virginiana | Poor        | 23       |
| 27      | Quercus laurifolia | Poor        | 19       |
| 28      | Quercus laurifolia | Poor        | 19       |
| 29      | Quercus laurifolia | Poor        | 23       |
| 30      | Quercus laurifolia | Poor        | 32       |
| 31      | Quercus laurifolia | Poor        | 23       |
| 34      | Quercus laurifolia | Poor        | 18       |
| 42      | Quercus laurifolia | Poor        | 23       |
| 43      | Quercus laurifolia | Poor        | 26       |
| 44      | Quercus laurifolia | Poor        | 27       |
| 45      | Quercus laurifolia | Poor        | 22       |
| 46      | Quercus laurifolia | Poor        | 28       |
| 47      | Quercus laurifolia | Poor        | 28       |
| 48      | Quercus laurifolia | Poor        | 64       |
| 49      | Quercus virginiana | Poor        | 25       |
| 50      | Quercus laurifolia | Poor        | 25       |
| 51      | Quercus virginiana | Poor        | 19       |
| 54      | Quercus laurifolia | Poor        | 28       |
| 55      | Quercus virginiana | Poor        | 42       |
| 56      | Quercus virginiana | Poor        | 24       |
| 57      | Quercus virginiana | Poor        | 61       |
| 58      | Quercus virginiana | Poor        | 43       |
| 59      | Quercus virginiana | Poor        | 32       |
| 60      | Quercus laurifolia | Poor        | 42       |
| 61      | Quercus laurifolia | Poor        | 20       |
| 62      | Quercus laurifolia | Poor        | 28       |
| 63      | Quercus laurifolia | Poor        | 21       |
| 66      | Quercus virginiana | Poor        | 27       |
| 67      | Quercus virginiana | Poor        | 30       |
| 68      | Quercus virginiana | Poor        | 56       |
| 69      | Quercus laurifolia | Poor        | 32       |
| 70      | Quercus virginiana | Poor        | 28       |
| 71      | Quercus virginiana | Poor        | 31       |
| 75      | Quercus virginiana | Poor        | 21       |
| 78      | Quercus virginiana | Poor        | 43       |
| 79      | Quercus virginiana | Poor        | 49       |
| 80      | Quercus virginiana | Poor        | 41       |
| 81      | Quercus laurifolia | Poor        | 42       |
| 83      | Quercus laurifolia | Poor        | 34       |
| 85      | Quercus virginiana | Poor        | 27       |
| 86      | Quercus laurifolia | Poor        | 25       |



RECEIVED  
 1/13/2022  
 CITY OF EDGEWOOD

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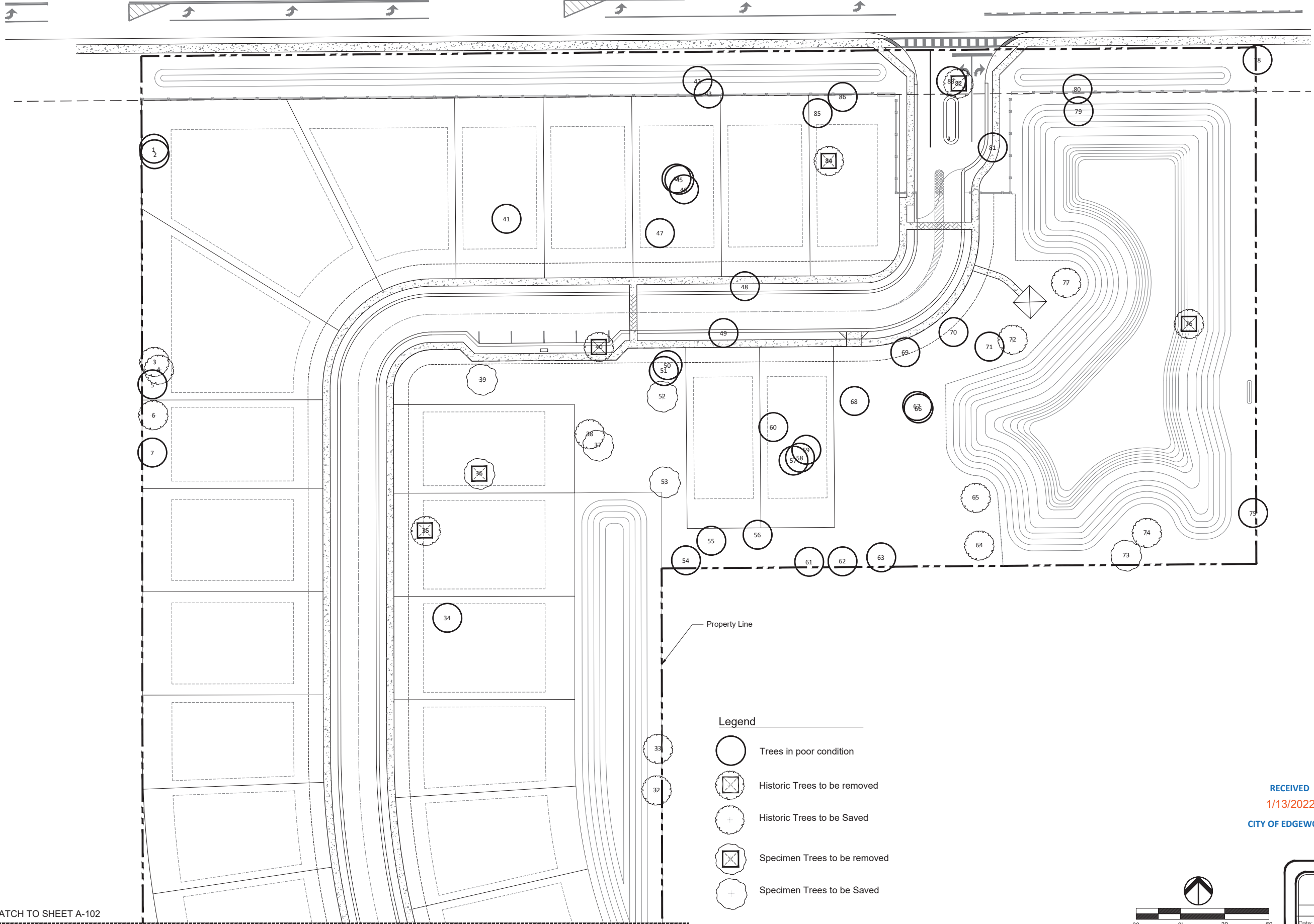
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|-----|------|-------------|----|
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Arbor Schedule & Details  
 Arbor Plan  
 Haven Oak  
 Orlando, Florida



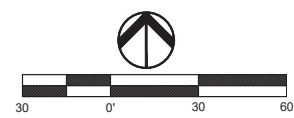
Date: \_\_\_\_\_

PROJECT NO.  
 1930  
 SCALE  
 NTS  
 DATE  
 Jan 2022  
 SHEET  
 A-001



- Legend**
-  Trees in poor condition
  -  Historic Trees to be removed
  -  Historic Trees to be Saved
  -  Specimen Trees to be removed
  -  Specimen Trees to be Saved

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MATCH TO SHEET A-102  
MATCH TO SHEET A-101

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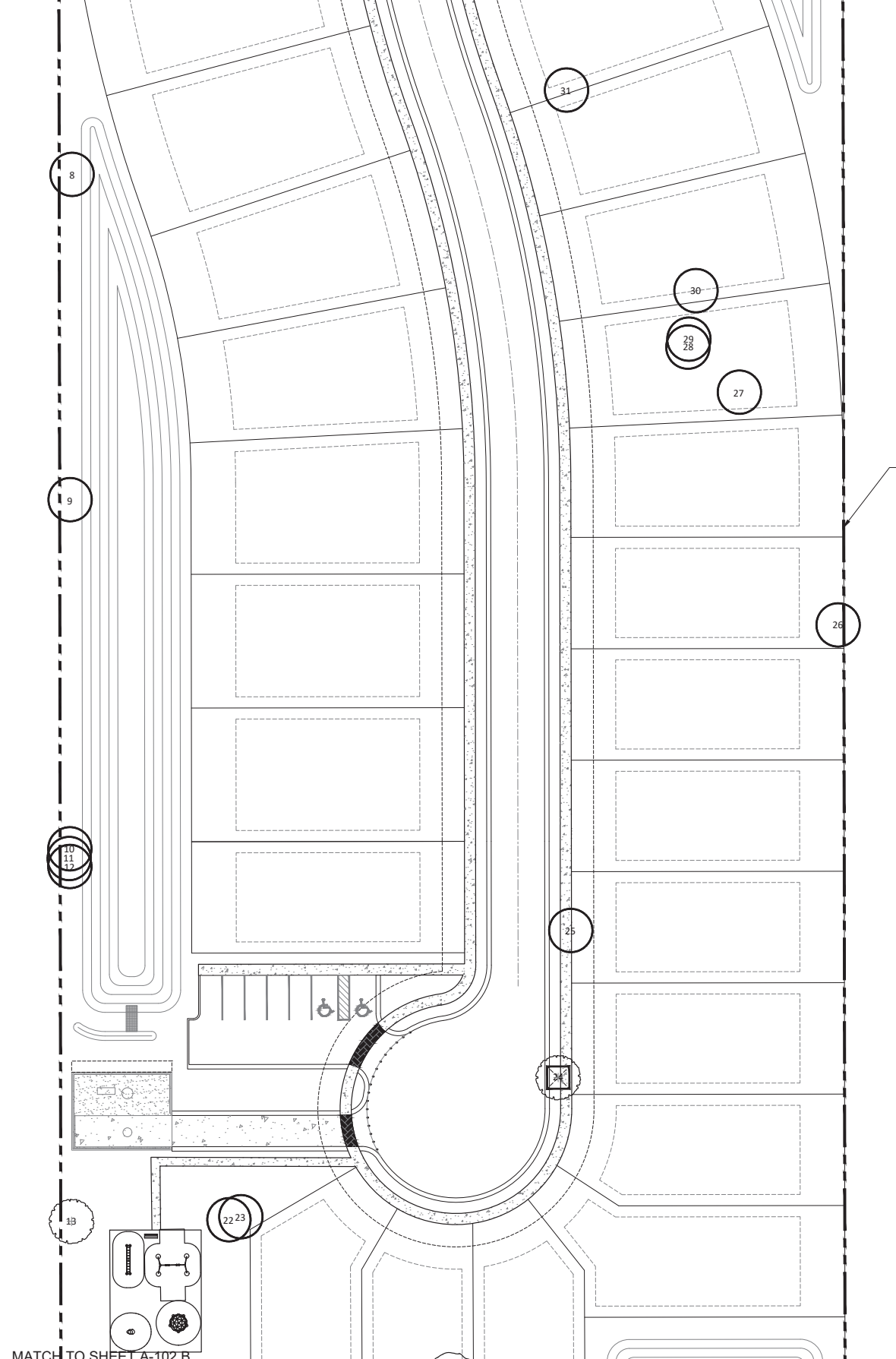
| REV | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
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Trees Removal & Saved Plan  
Arbor Plan  
Haven Oak  
Orlando, FL



PROJECT NO.  
1930  
SCALE  
1"=30'  
DATE  
Jan 2022  
SHEET  
A-101

MATCH TO SHEET A-102  
MATCH TO SHEET A-101

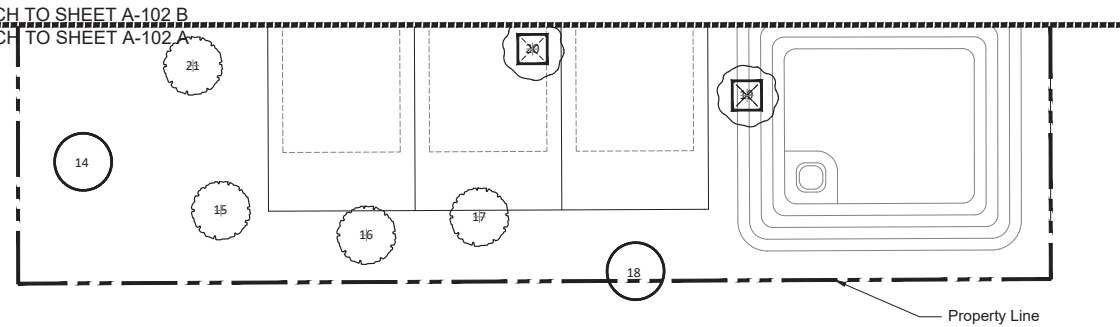


**A PLAN VIEW**

SCALE: 1"=30'

MATCH TO SHEET A-102 B  
MATCH TO SHEET A-102 A

MATCH TO SHEET A-102 B  
MATCH TO SHEET A-102 A



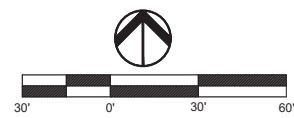
**B PLAN VIEW**

SCALE: 1"=30'

**Legend**

- Trees in poor condition
- Historic Trees to be removed
- Historic Trees to be Saved
- Specimen Trees to be removed
- Specimen Trees to be Saved

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| REV | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|     |      |             |    |

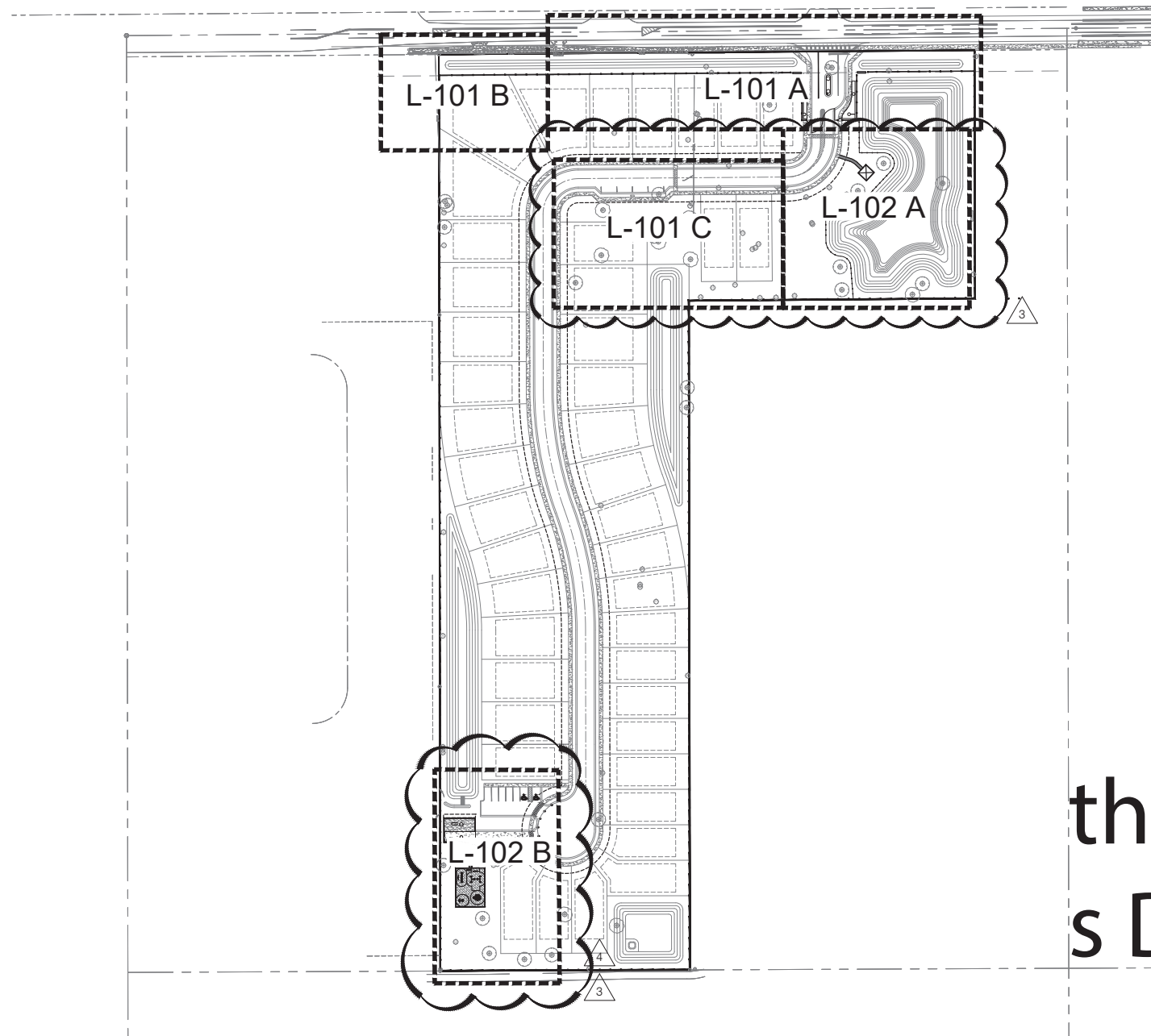
Tree Removal & Saved Plan  
Arbor Plan  
Haven Oak  
Orlando, FL



PROJECT NO.  
1930  
SCALE  
1"=30'  
DATE  
Jan 2022  
SHEET  
A-102

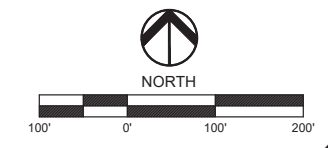
Date: \_\_\_\_\_





**thomas  
s Daly**

Digitally signed by  
thomas Daly  
Date:  
2022.01.12  
10:24:59 -05'00'



Date: \_\_\_\_\_

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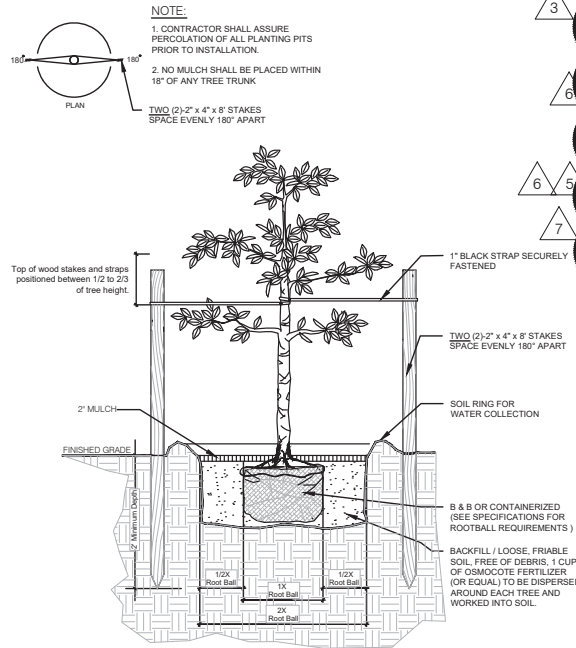
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|-----|------------|--|-----|
| 4   | 9.7.2021   | Revisions per City Comments                | GH  |
| 3   | 6.23.21/21 | Revisions per City Comments                | GH  |
| 2   | 11.19.20   | Revisions per City Comments dated 11.12.20 | agm |

Key Sheet  
Landscape Plan  
Haven Oaks  
Orlando, Florida

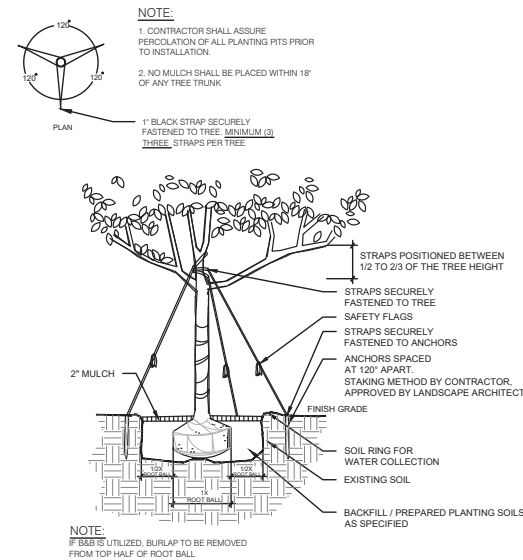


PROJECT NO.  
1930  
SCALE  
1"= 100'  
DATE  
March 2020  
SHEET  
K-100

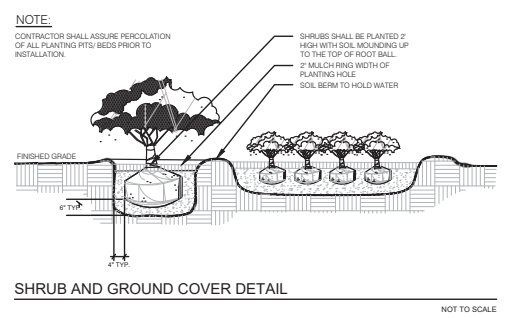
# PLANT DETAILS



**SMALL TREE GUYING DETAIL**  
Detail for trees between 1" and 2.5" cal.  
NOT TO SCALE



**LARGE TREE GUYING DETAIL**  
Detail for trees greater than 3" cal.  
NOT TO SCALE



**SHRUB AND GROUND COVER DETAIL**  
NOT TO SCALE

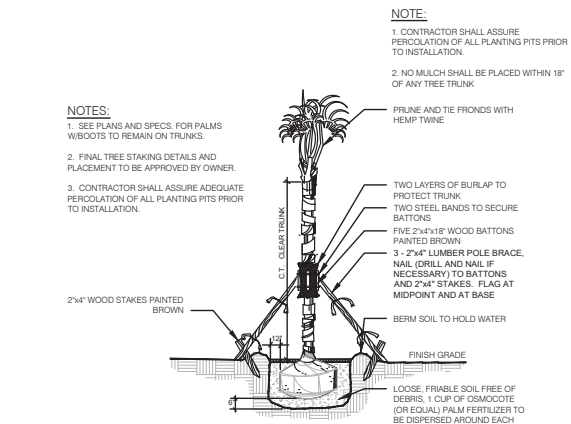
# PLANT SCHEDULE

| Quantity  | SIMBOL | Botanical                   | Common             | Specifications  |
|-----------|--------|-----------------------------|--------------------|---|
| 69        | AD     | Asparagus aethiopicus       | Foxtail Fern       | Min. 3 gal., Full Pot 24" o.c.                        |
| 6         | BN     | Bismarckia nobilis          | Bismarck Palm      | 10' Clear Trunk                                       |
| 45        | CA     | Crinum asiaticum            | Crinum Lily        | Min. 7 gal., 24" ht. x 24" spd.                       |
| 215       | DE     | Duranta erecta 'Gold Mound' | Gold Mound Duranta | Min. 7 gal., 24" ht. x 24" spd. 30" o.c.              |
| 29        | LJT    | Ligustrum japonicum         | Japanese Privet    | Min. 30 gal., 8' ht., 8" o.c., 3 steams, 3/4" caliper |
| 16        | QV     | Quercus virginiana          | Southern Live Oak  | Min. 200 gal., 16' ht., 5" cal.                       |
| 366       | TAM    | Trachelospermum asiaticum   | Asian Jasmine      | Min. 1 gal., full pot 18" o.c.                        |
| 21        | VS     | Viburnum suspensum          | Sandankwa Viburnum | Min. 7 gal., 20" ht. x 20" spd., 36" o.c.             |
| 47,663 SF | SOD A  | St. Augustine Sod           |                    |   |

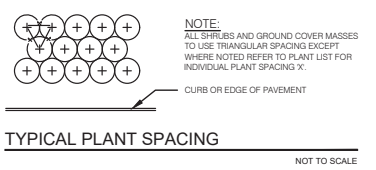
3  
2  
6  
2  
2  
6  
5  
4  
7  
4

# GENERAL LANDSCAPE NOTES

- Landscape Contractor shall be responsible for all materials and plants as called for on the landscape plans. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at time of bidding.
- All plant material shall be graded Florida No. 1 or better, as outlined by "Grades and Standards for Nursery Plants", Florida Department of Agriculture and Consumer Services, division of Plant Industry.
- All planting shall be top dressed with a minimum of 2" pine bark.
- The Landscape Contractor shall be wholly responsible for the stability and plumb condition of all trees and shrubs and shall be legally liable for any damage caused by instability of plant material. The staking method, if not shown by detail on this plan, shall be approved by the owner or his/her authorized representative.
- Every possible safeguard shall be taken to protect existing trees that are shown on the landscape plan to be preserved.
- The Landscape Contractor is responsible for cleaning all debris associated with their work.
- Height and spread specifications refer to the overall plant form. Singular branches may not be used to meet minimum requirements. Tree size to be measured at DBH 4.5' above grade.
- All landscaping shall be installed according to accepted commercial planting procedures. Soil, shall be free of limerock, pebbles, or other construction debris.
- All landscaping shall conform to the standards set forth in the city of Edgewood Land Development code (unless a higher standard is required per the Development agreement). Landscape plan is required to be submitted with the development plan review.
- Landscaping shall not interfere with power lines, sewer, water pipes or any other existing or proposed utilities.
- All landscaping areas shall be 100% irrigated.
- Ball & burlap material shall be an acceptable alternative to container grown trees.
- Occasionally there is the potential for site modification due to revised field grading, clearing of existing tree canopy or other unforeseen conditions. The Landscape Contractor shall be responsible for informing the Owner and Landscape Architect of site conditions adverse to the healthy establishment of any plant material prior to planting so that a resolution may be achieved.
- The Landscape Contractor shall be responsible for arranging a pre-construction meeting with the Owner and Landscape architect in order to address and clarify any questions, concerns and/or conditions related to these drawings or the existing site.
- Landscape Contractor shall use appropriate container size to meet minimum plant height, if minimum plant height can not be met with specified container size.
- This Landscape plan has been prepared by a certified Landscape Architect who is registered in the State of Florida.
- Canopy / Shade Tree species will be selected from the following trees: Live Oak, Red Maple, Magnolia, Laurel Oak, Bald Cypress, Bottle Brush or Winged Elm. Additional tree species may be provided consistent with the development agreement. Landscape plans will be provided with the Development Plan review.



**PALM TREE GUYING DETAIL**  
NOT TO SCALE



**TYPICAL PLANT SPACING**  
NOT TO SCALE

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by **thomas Daly**  
Date: 2022.01.12 10:30:41 -05'00'

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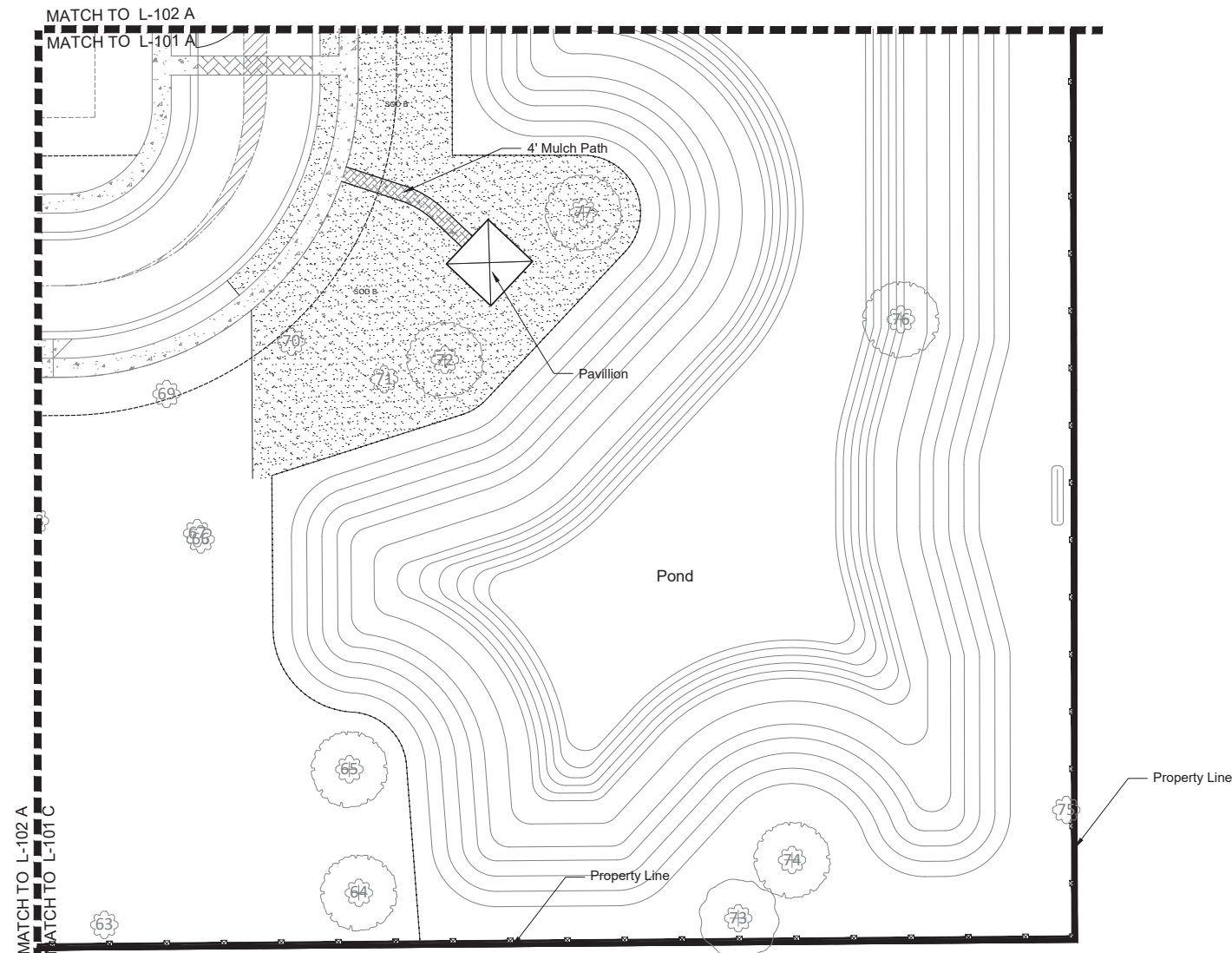
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| 1    | 11.09.2020 |             |    |
| 2    | 11.19.20   |             |    |
| 3    | 6.23.21    |             |    |
| 4    | 9.7.2021   |             |    |

Revisions per Client Comments: 7  
 Revisions per City Comments: 6  
 Revisions per City Comments: 5  
 Revisions per City Comments: 4  
 Revisions per City Comments: 3  
 Revisions per City Comments: 2  
 Revisions per City Comments: 1

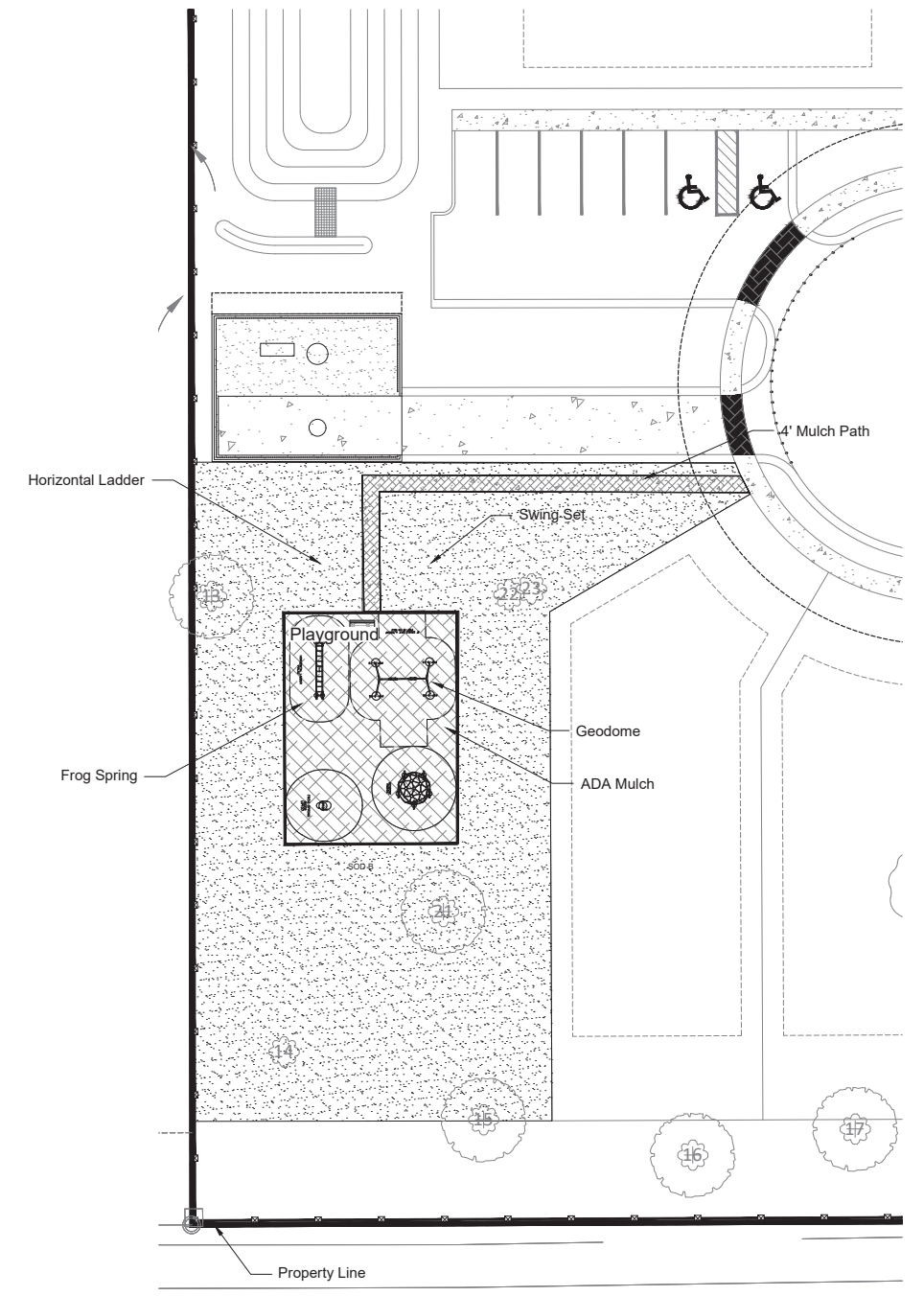
Plant Schedule and Details  
 Landscape Plan  
 Haven Oaks  
 Orlando, Florida

PROJECT NO. 1930  
 SCALE NTS  
 DATE March 2020  
 SHEET L-001



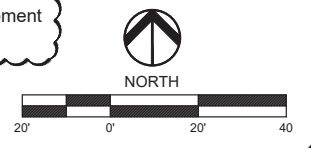


**A** PLAN VIEW LANDSCAPE TRACT  
SCALE: 1"=20'



**B** PLAN VIEW LANDSCAPE TRACT  
SCALE: 1"=20'

Note: The location of the landscaping shown does not necessarily correspond to the landscaping required in the Developer's Agreement (DA) and that consistency with the DA will be provided with the final landscape plans to be submitted with the Development Plan



thomas  
Daly

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thomas Daly  
Date: 2022.01.12  
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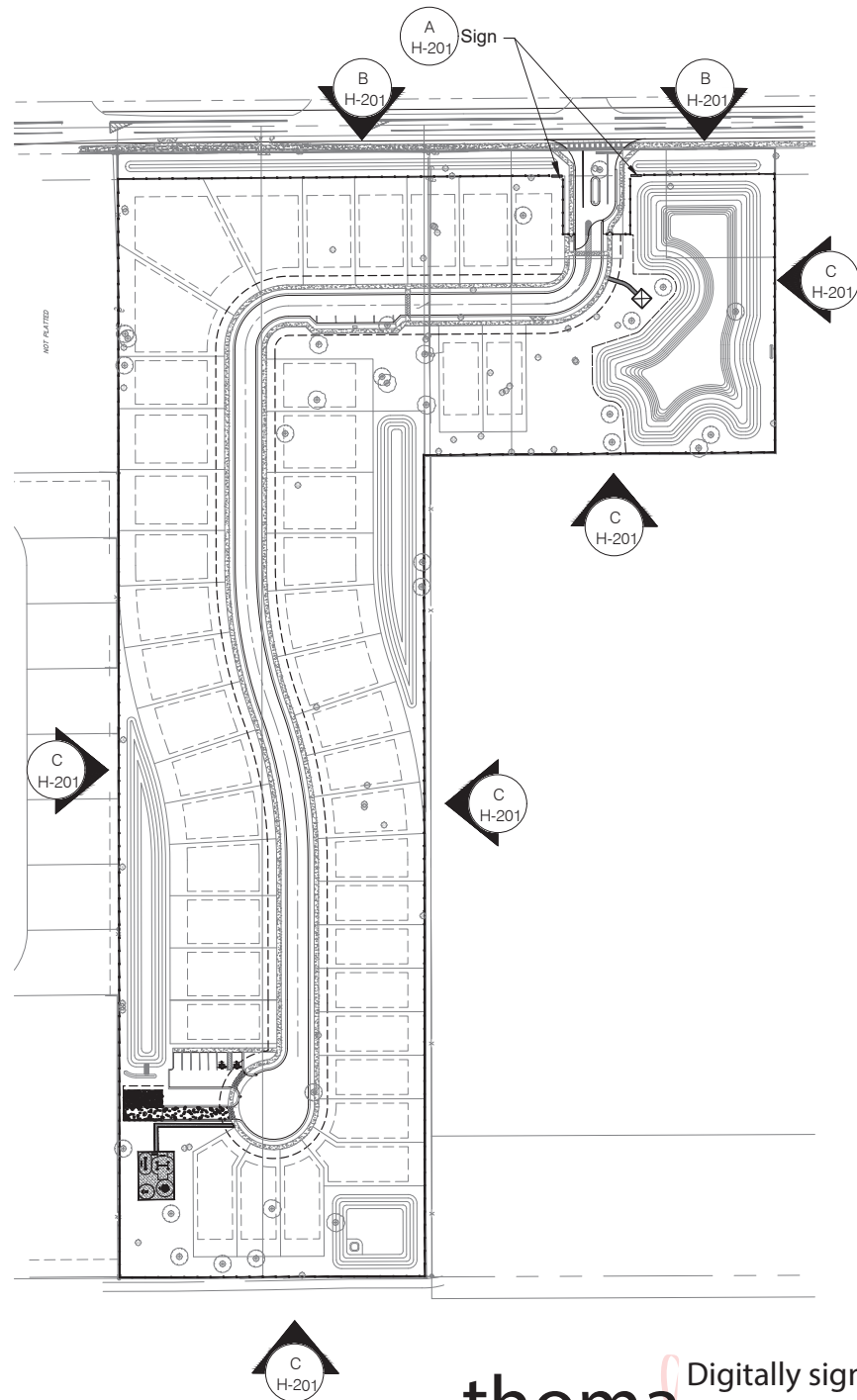
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|-----|------------|-------------------------------|----|
| 7   | 11.09.2021 | Revisions per Client Comments | GH |
| 4   | 19.7.2021  | Revisions per City Comments   | GH |

Landscape Tract & Tract D  
Landscape Plan  
Haven Oaks  
Orlando, Florida

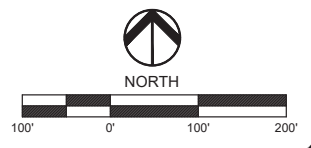
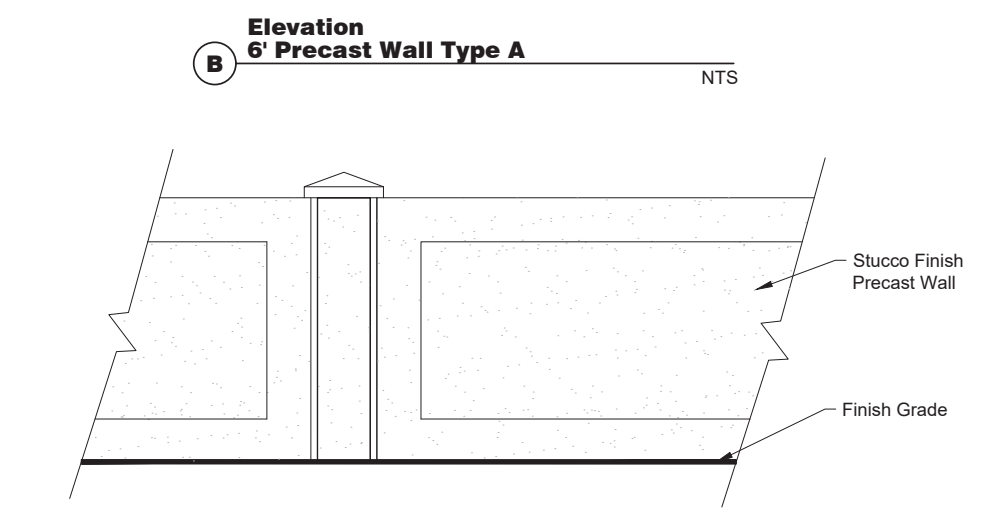
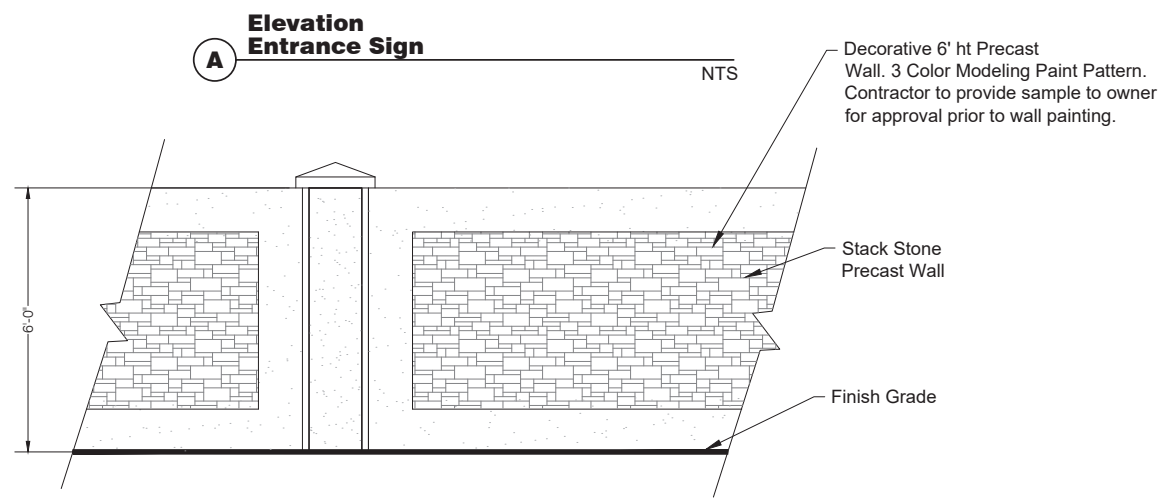
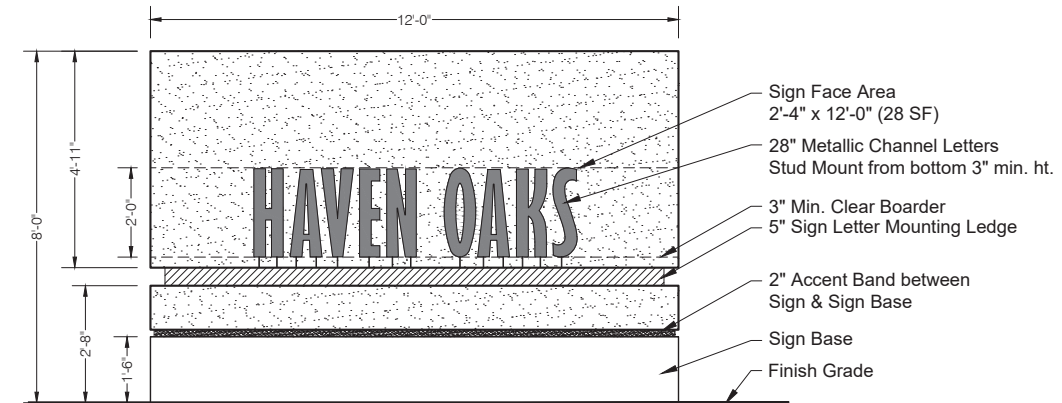


PROJECT NO.  
1930  
SCALE  
1"= 20'  
DATE  
June 2021  
SHEET  
L-102

Date: \_\_\_\_\_



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 Date: 2022.01.12  
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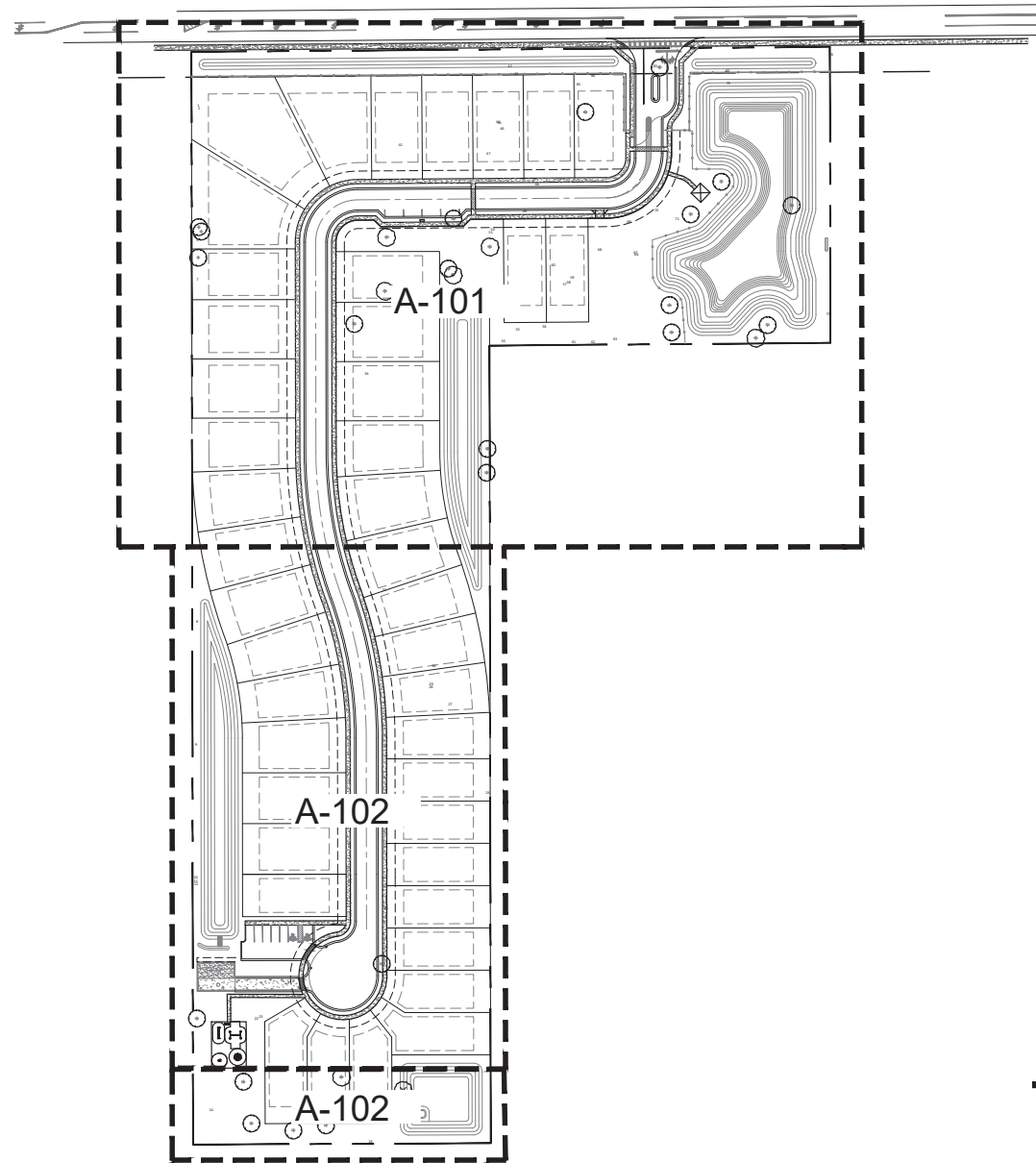
| REV | DATE | DESCRIPTION | BY |
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Sign & Wall Elevations  
 Hardscape Plan  
 Haven Oaks  
 Orlando, Florida



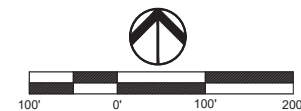
PROJECT NO.  
 1930  
 SCALE  
 1" = 100'  
 DATE  
 Nov 2021  
 SHEET  
 H-201

Date: \_\_\_\_\_



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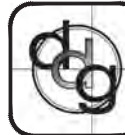
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| Date: |  |
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PROJECT NO.  
1930  
SCALE:  
1"=100'  
DATE  
Jan 2022  
SHEET  
K-100

Key Sheet  
Arbor Plan  
Haven Oak  
Orlando, FL



| REV | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|     |      |             |    |

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Trees to be Saved

| Tree ID | Tree Species       | Tree Health | Tree DBH      | Saved      | Specimen 18" - 23" | Historic 24" > |
|---------|--------------------|-------------|---------------|------------|--------------------|----------------|
| 3       | Quercus laurifolia | Good        | 28            | 28         |                    | 28             |
| 4       | Quercus laurifolia | Good        | 25            | 25         |                    | 25             |
| 6       | Quercus laurifolia | Good        | 33            | 33         |                    | 33             |
| 13      | Quercus virginiana | Good        | 24            | 24         |                    | 24             |
| 15      | Quercus virginiana | Good        | 35            | 35         |                    | 35             |
| 16      | Quercus virginiana | Good        | 54            | 54         |                    | 54             |
| 17      | Quercus virginiana | Good        | 28            | 28         |                    | 28             |
| 21      | Quercus virginiana | Good        | 51            | 51         |                    | 51             |
| 32      | Quercus laurifolia | Good        | 25            | 25         |                    | 25             |
| 33      | Quercus laurifolia | Good        | 33            | 33         |                    | 33             |
| 37      | Quercus laurifolia | Good        | 19            | 19         | 19                 |                |
| 38      | Quercus laurifolia | Good        | 26            | 26         |                    | 26             |
| 39      | Quercus laurifolia | Good        | 19            | 19         | 19                 |                |
| 52      | Quercus laurifolia | Good        | 23            | 23         | 23                 |                |
| 53      | Quercus laurifolia | Good        | 22            | 22         | 22                 |                |
| 64      | Quercus virginiana | Good        | 31            | 31         |                    |                |
| 65      | Quercus virginiana | Good        | 31            | 31         |                    |                |
| 72      | Quercus virginiana | Good        | 31            | 31         |                    | 31             |
| 73      | Quercus laurifolia | Good        | 18            | 18         | 18                 |                |
| 74      | Quercus virginiana | Good        | 38            | 38         |                    | 38             |
| 76      | Quercus virginiana | Good        | 73            | 73         |                    | 73             |
| 77      | Quercus virginiana | Good        | 55            | 55         |                    | 55             |
|         |                    |             | <b>Totals</b> | <b>722</b> | <b>101</b>         | <b>559</b>     |

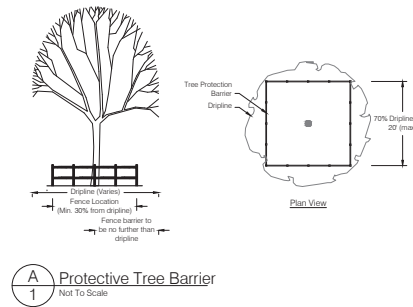
Trees to be Removed

| Tree ID | Tree Species       | Tree Health | Tree DBH      | Saved    | Removed    | Specimen 18" - 23" | Historic 24" > |
|---------|--------------------|-------------|---------------|----------|------------|--------------------|----------------|
| 19      | Quercus laurifolia | Good        | 19            |          | 19         | 19                 |                |
| 20      | Quercus virginiana | Good        | 18            |          | 18         | 18                 |                |
| 24      | Quercus laurifolia | Good        | 27            |          | 27         |                    | 27             |
| 35      | Quercus laurifolia | Good        | 24            |          | 24         |                    | 24             |
| 36      | Quercus virginiana | Good        | 18            |          | 18         | 18                 |                |
| 40      | Quercus laurifolia | Good        | 25            |          | 25         |                    | 25             |
| 41      | Quercus laurifolia | Good        | 24            |          | 24         |                    | 24             |
| 82      | Quercus virginiana | Good        | 38            |          | 38         |                    | 38             |
| 84      | Quercus virginiana | Good        | 30            |          | 30         |                    | 30             |
|         |                    |             | <b>Totals</b> | <b>0</b> | <b>223</b> | <b>55</b>          | <b>168</b>     |

Totals Trees to be removed: 9  
 Totals Trees to be replace: 9  
 The 9 trees to be replace, each tree is 6" and will be planted in the Park Tracts on the property.

Trees in Poor Condition

| Tree ID | Tree Species       | Tree Health | Tree DBH |
|---------|--------------------|-------------|----------|
| 1       | Quercus laurifolia | Poor        | 31       |
| 2       | Quercus laurifolia | Poor        | 35       |
| 5       | Quercus laurifolia | Poor        | 25       |
| 7       | Quercus laurifolia | Poor        | 47       |
| 8       | Quercus laurifolia | Poor        | 23       |
| 9       | Quercus laurifolia | Poor        | 28       |
| 10      | Quercus laurifolia | Poor        | 19       |
| 11      | Quercus laurifolia | Poor        | 21       |
| 12      | Quercus laurifolia | Poor        | 20       |
| 14      | Quercus virginiana | Poor        | 55       |
| 18      | Quercus laurifolia | Poor        | 38       |
| 22      | Quercus laurifolia | Poor        | 38       |
| 23      | Quercus laurifolia | Poor        | 28       |
| 25      | Quercus laurifolia | Poor        | 24       |
| 26      | Quercus virginiana | Poor        | 23       |
| 27      | Quercus laurifolia | Poor        | 19       |
| 28      | Quercus laurifolia | Poor        | 19       |
| 29      | Quercus laurifolia | Poor        | 23       |
| 30      | Quercus laurifolia | Poor        | 32       |
| 31      | Quercus laurifolia | Poor        | 23       |
| 34      | Quercus laurifolia | Poor        | 18       |
| 42      | Quercus laurifolia | Poor        | 23       |
| 43      | Quercus laurifolia | Poor        | 26       |
| 44      | Quercus laurifolia | Poor        | 27       |
| 45      | Quercus laurifolia | Poor        | 22       |
| 46      | Quercus laurifolia | Poor        | 28       |
| 47      | Quercus laurifolia | Poor        | 28       |
| 48      | Quercus laurifolia | Poor        | 64       |
| 49      | Quercus virginiana | Poor        | 25       |
| 50      | Quercus laurifolia | Poor        | 25       |
| 51      | Quercus virginiana | Poor        | 19       |
| 54      | Quercus laurifolia | Poor        | 28       |
| 55      | Quercus virginiana | Poor        | 42       |
| 56      | Quercus virginiana | Poor        | 24       |
| 57      | Quercus virginiana | Poor        | 61       |
| 58      | Quercus virginiana | Poor        | 43       |
| 59      | Quercus virginiana | Poor        | 32       |
| 60      | Quercus laurifolia | Poor        | 42       |
| 61      | Quercus laurifolia | Poor        | 20       |
| 62      | Quercus laurifolia | Poor        | 28       |
| 63      | Quercus laurifolia | Poor        | 21       |
| 66      | Quercus virginiana | Poor        | 27       |
| 67      | Quercus virginiana | Poor        | 30       |
| 68      | Quercus virginiana | Poor        | 56       |
| 69      | Quercus laurifolia | Poor        | 32       |
| 70      | Quercus virginiana | Poor        | 28       |
| 71      | Quercus virginiana | Poor        | 31       |
| 75      | Quercus virginiana | Poor        | 21       |
| 78      | Quercus virginiana | Poor        | 43       |
| 79      | Quercus virginiana | Poor        | 49       |
| 80      | Quercus virginiana | Poor        | 41       |
| 81      | Quercus laurifolia | Poor        | 42       |
| 83      | Quercus laurifolia | Poor        | 34       |
| 85      | Quercus virginiana | Poor        | 27       |
| 86      | Quercus laurifolia | Poor        | 25       |



thomas  
as  
Daly

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thomas Daly  
Date:  
2022.01.12  
10:32:10<sup>®</sup>  
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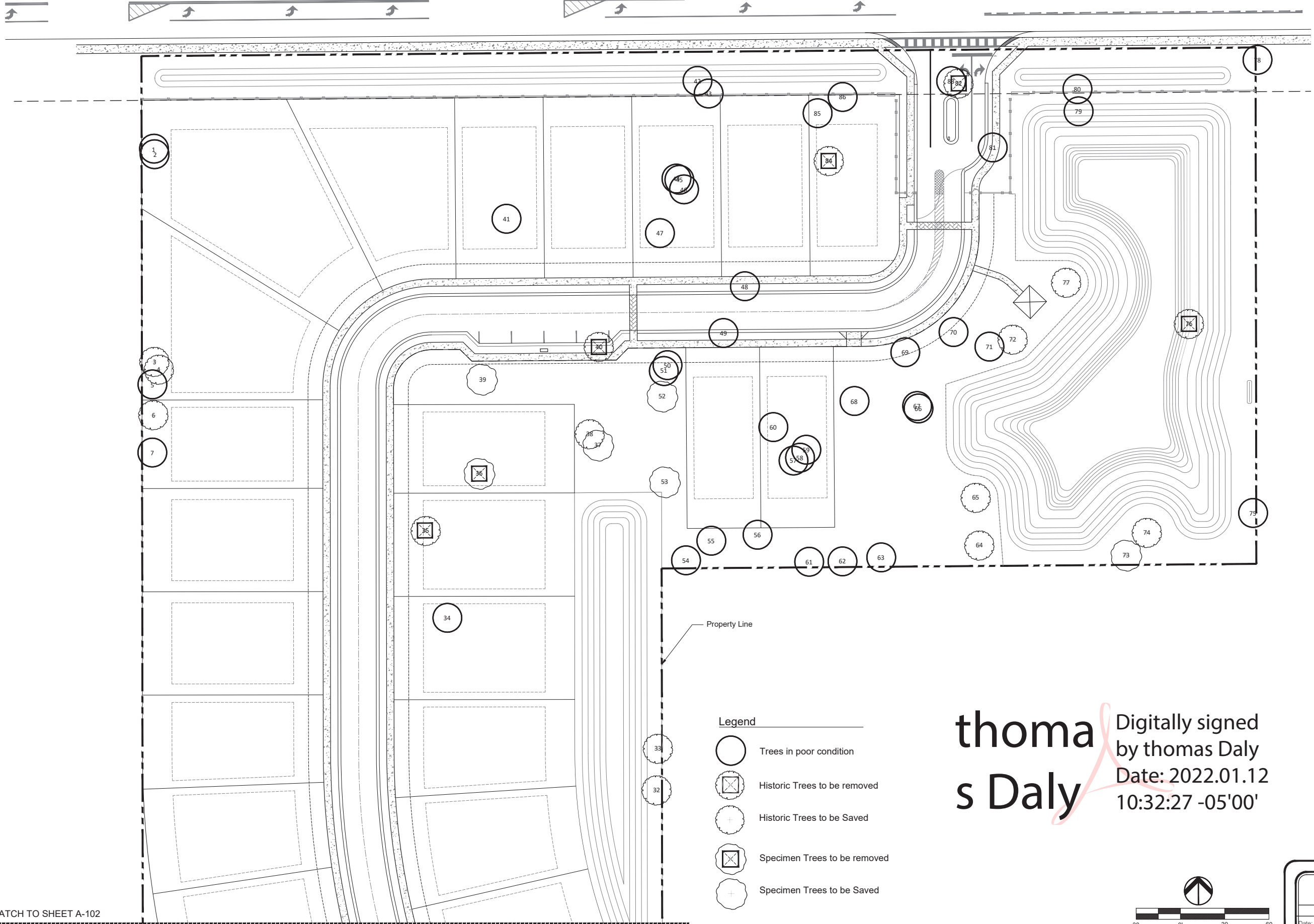
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Arbor Schedule & Details  
 Arbor Plan  
 Haven Oak  
 Orlando, Florida



PROJECT NO.  
1930  
 SCALE  
NTS  
 DATE  
Jan 2022  
 SHEET  
A-001

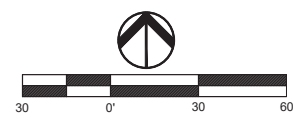
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MATCH TO SHEET A-102  
 MATCH TO SHEET A-101

- Legend**
- Trees in poor condition
  - Historic Trees to be removed
  - Historic Trees to be Saved
  - Specimen Trees to be removed
  - Specimen Trees to be Saved

**thomas  
 s Daly** Digitally signed  
 by thomas Daly  
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|-----|------|-------------|----|
|     |      |             |    |
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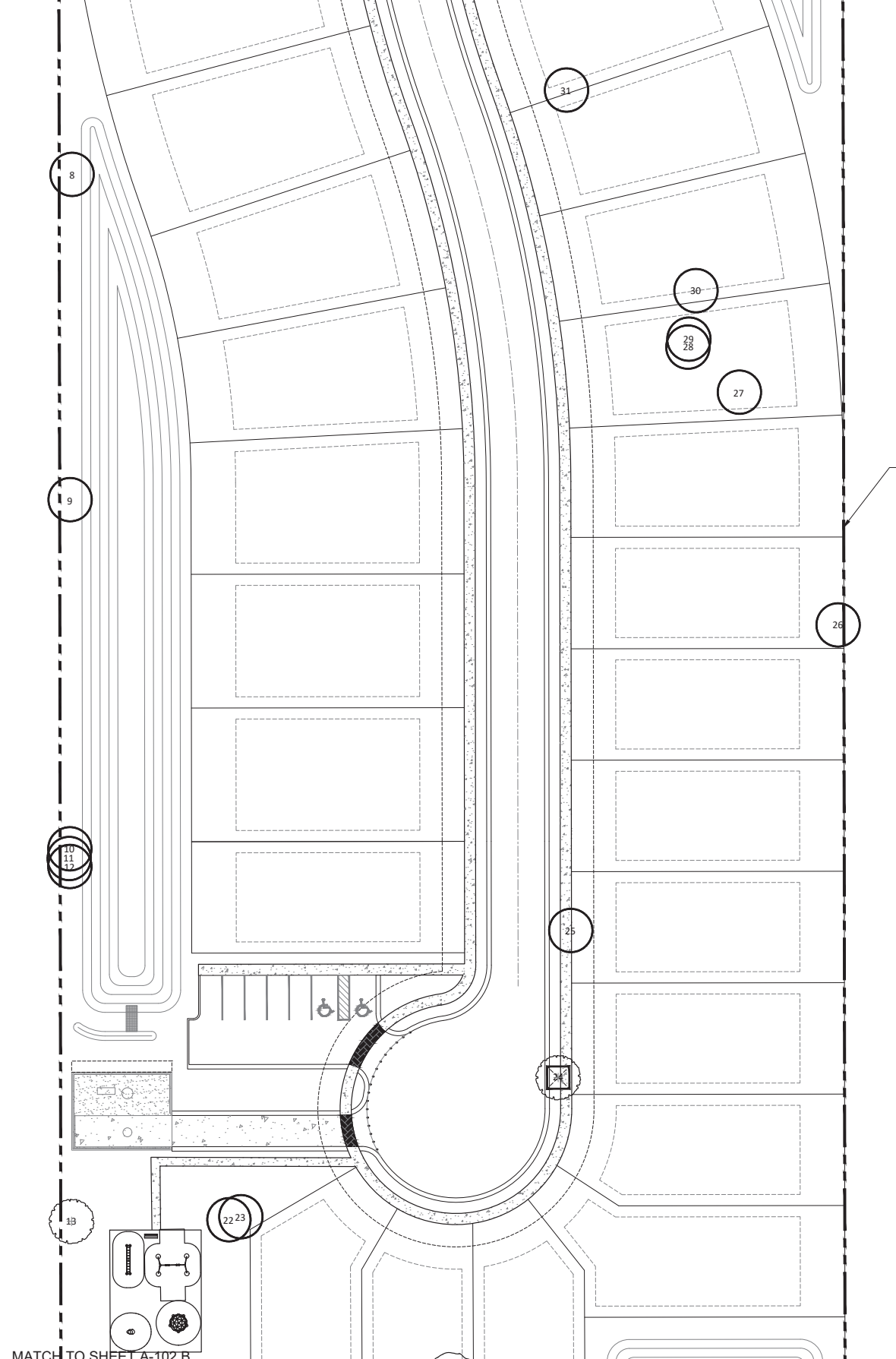
Trees Removal & Saved Plan  
 Arbor Plan  
 Haven Oak  
 Orlando, FL



|                     |
|---------------------|
| PROJECT NO.<br>1930 |
| SCALE<br>1"=30'     |
| DATE<br>Jan 2022    |
| SHEET<br>A-101      |



MATCH TO SHEET A-102  
MATCH TO SHEET A-101

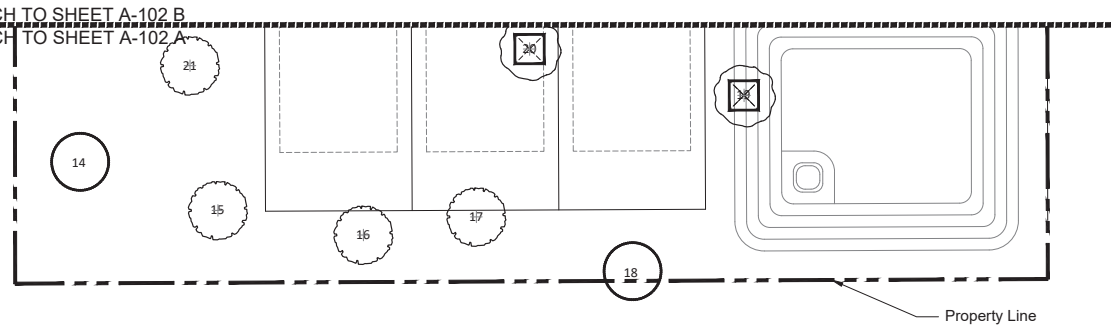


MATCH TO SHEET A-102 B  
MATCH TO SHEET A-102 A

**A PLAN VIEW**

SCALE: 1"=30'

MATCH TO SHEET A-102 B  
MATCH TO SHEET A-102 A



**B PLAN VIEW**

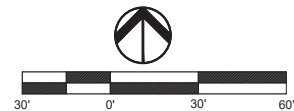
SCALE: 1"=30'

**Legend**

-  Trees in poor condition
-  Historic Trees to be removed
-  Historic Trees to be Saved
-  Specimen Trees to be removed
-  Specimen Trees to be Saved

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Daly

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thomas Daly  
Date:  
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| REV | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|     |      |             |    |

Tree Removal & Saved Plan  
Arbor Plan  
Haven Oak  
Orlando, FL



PROJECT NO.  
1930  
SCALE  
1"=30'  
DATE  
Jan 2022  
SHEET  
A-102

HAVEN OAKS - ARCHITECTURAL GUIDELINES CRITERIA MATRIX

| EXHIBIT "C" Architectural Guidelines Criteria            | Bridgton   |                  | Brookton     |              |                  | Ferncroft    |              |                  | Welsford     |              |                  | Wilmot       |              |                  |
|--|--|------------------|--------------|--------------|------------------|--------------|--------------|------------------|--------------|--------------|------------------|--------------|--------------|------------------|
|  | Contemporary   | Modern Farmhouse | Transitional | Contemporary | Modern Farmhouse | Transitional | Contemporary | Modern Farmhouse | Transitional | Contemporary | Modern Farmhouse | Transitional | Contemporary | Modern Farmhouse |
| Minimum Two Elevations Per Plan                          | YES  |                  | YES          |              |                  | YES          |              |                  | YES          |              |                  | YES          |              |                  |
| Two Dissimilar Materials                                 | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              |
| <i>Stucco</i>  | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              |
| <i>Cement Board</i>                                      | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              |
| <i>Brick Veneer</i>                                      | NO   | NO               | NO           | NO           | NO               | NO           | NO           | NO               | NO           | NO           | NO               | NO           | NO           | NO               |
| <i>Stone Veneer</i>                                      | YES  | NO               | NO           | YES          | NO               | NO           | YES          | NO               | NO           | YES          | NO               | NO           | YES          | NO               |
| Front Porch and/or Garage/Entry Step Forward or Back     | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | NO           | YES          | YES              | YES          | YES          | YES              |
| No Front Visible Roof Penetrations                       | NONE   | NONE             | NONE         | NONE         | NONE             | NONE         | NONE         | NONE             | NONE         | NONE         | NONE             | NONE         | NONE         | NONE             |
| 8 ft. Tall Entry Doors (See EXHIBIT B for Style Options) | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              |
| Shutters and/or Trim All Front Façade Windows            | TRIM   | TRIM             | TRIM         | TRIM         | TRIM             | TRIM         | TRIM         | TRIM             | TRIM         | TRIM         | TRIM             | TRIM         | TRIM         | TRIM             |
| Lighting At Entry and Garage Doors                       | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              |
| Fascia/Soffit Material (Cement Board, Vinyl, Aluminum)   | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              |
| First Floor Ceiling Minimum of 9' Height                 | YES  | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              | YES          | YES          | YES              |
| Garage Width Not to Exceed 50% of Front Façade           | Minimum home width for product offering will be 40'. Garage door width will be 16'. There will not be a scenario where garage width will exceed 50% of front façade. |                  |              |              |                  |              |              |                  |              |              |                  |              |              |                  |
| Upgraded Garage Doors                                    | Garage doors will be upgraded above standard 16 panel doors. See EXHIBIT A for upgraded garage door offering still in progress of finalization.                      |                  |              |              |                  |              |              |                  |              |              |                  |              |              |                  |
| Paver Driveway (18' Wide Minimum)                        | All driveways will be 18' minimum width. All driveways will be pavers.   |                  |              |              |                  |              |              |                  |              |              |                  |              |              |                  |
| Paver Pedestrian Walk (Driveway to Entry Door)           | All pedestrian walks (driveway to entry door) will be pavers.  |                  |              |              |                  |              |              |                  |              |              |                  |              |              |                  |
| Side Treatment   | Sides of homes that face road will meet the same style window treatments and material use restrictions as outlined in Paragraph 1(a) in Developer's Agreement        |                  |              |              |                  |              |              |                  |              |              |                  |              |              |                  |

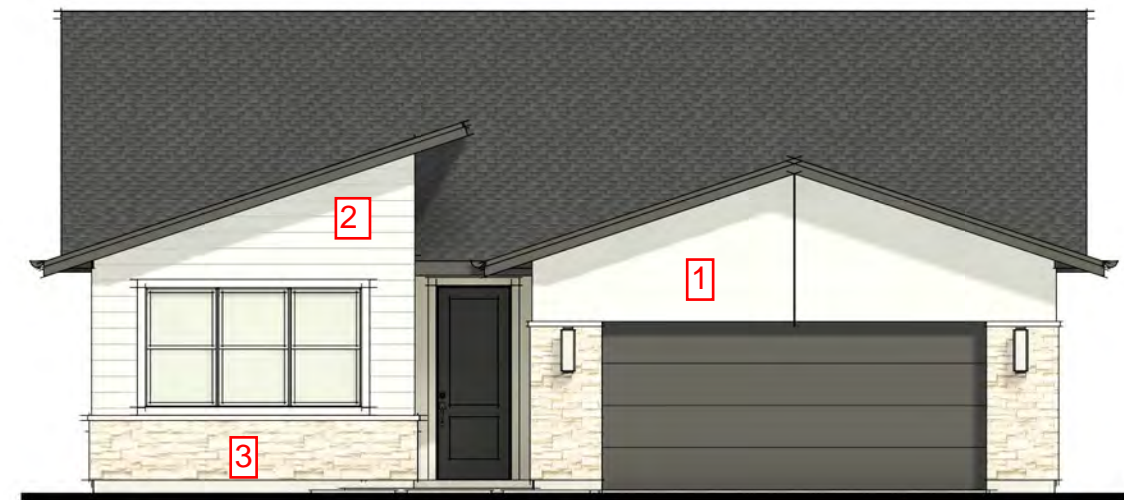


FIRST FLOOR



CONTEMPORARY

Driveway/Pedestrian  
walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

BRIDGTON

SODO 505  
FL - CENTRAL DIVISION

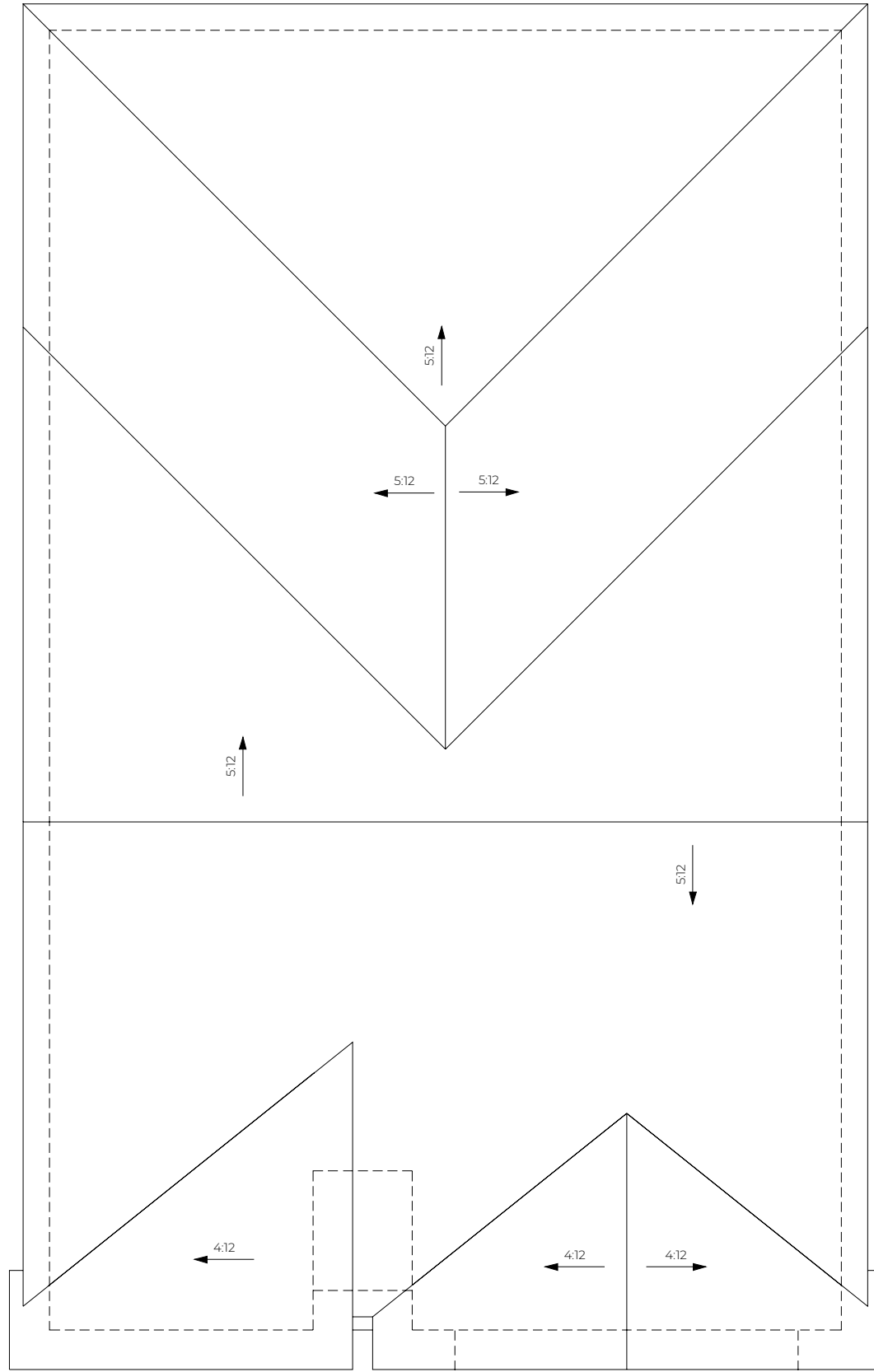
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COMMUNITY  
SUBVISION:

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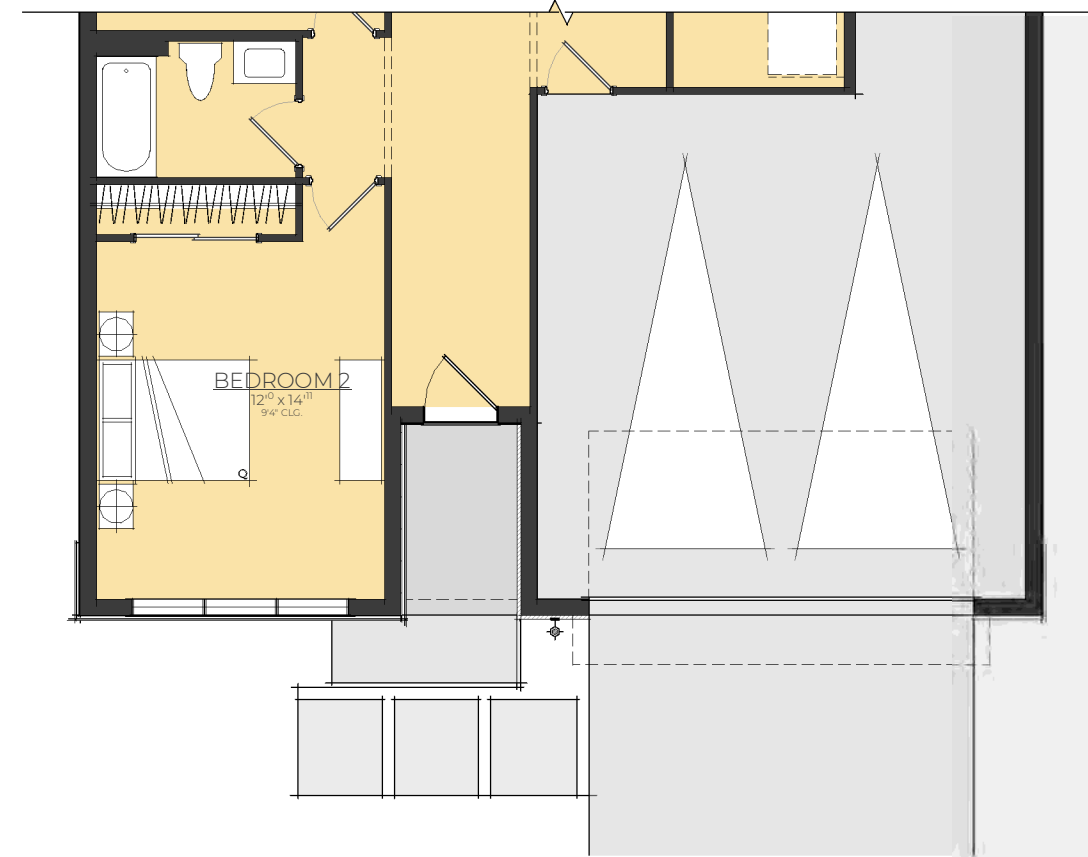
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SHEET NUMBER: D1.1

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ROOF PLAN



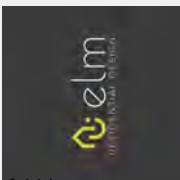
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SHEET NUMBER

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MODEL NAME:  
COMMUNITY:  
SUBDIVISION:

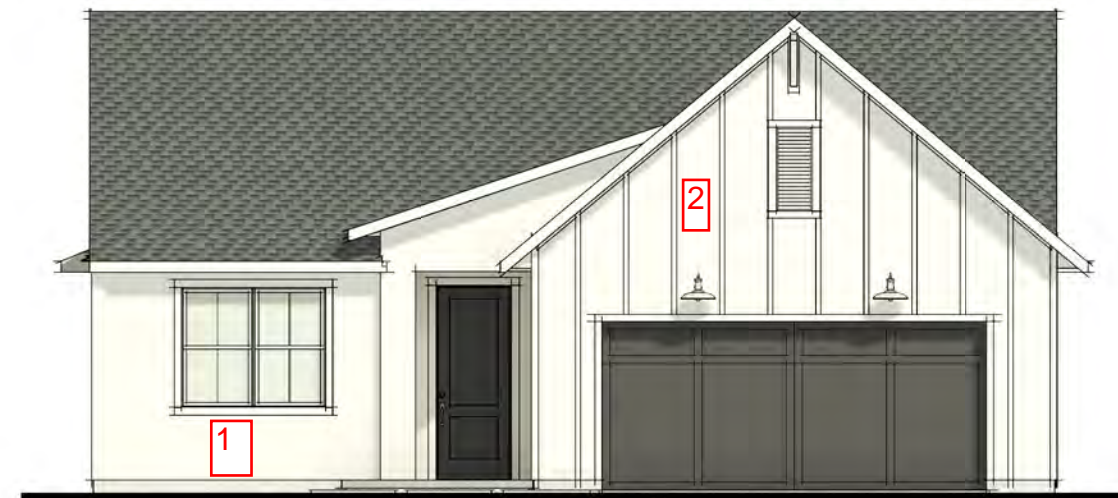
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MODERN FARMHOUSE

Driveway/Pedestrian  
walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

BRIDGTON

SODO 505  
FL - CENTRAL DIVISION

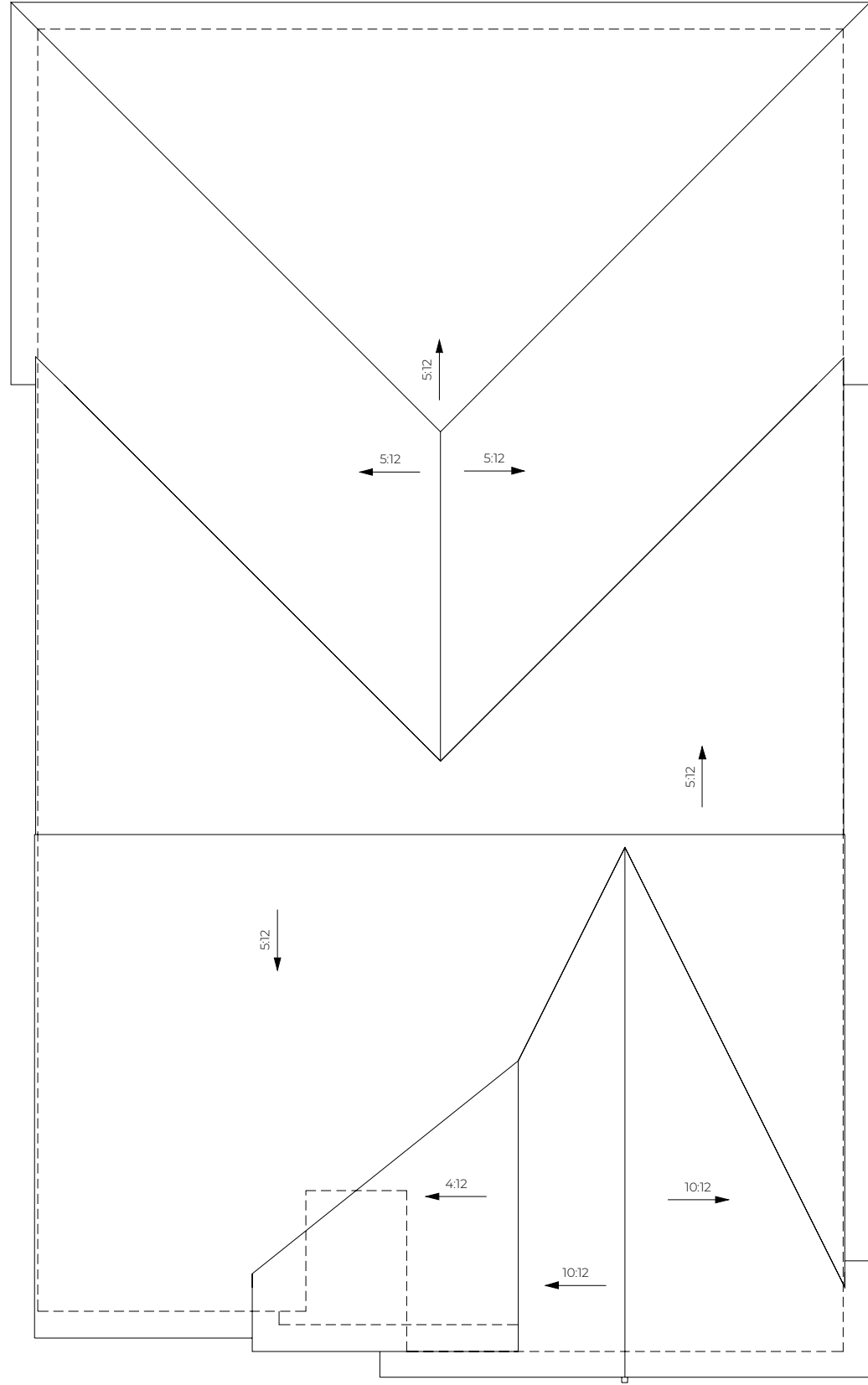
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COMMUNITY  
SUBVISION:

DATE: SD 21  
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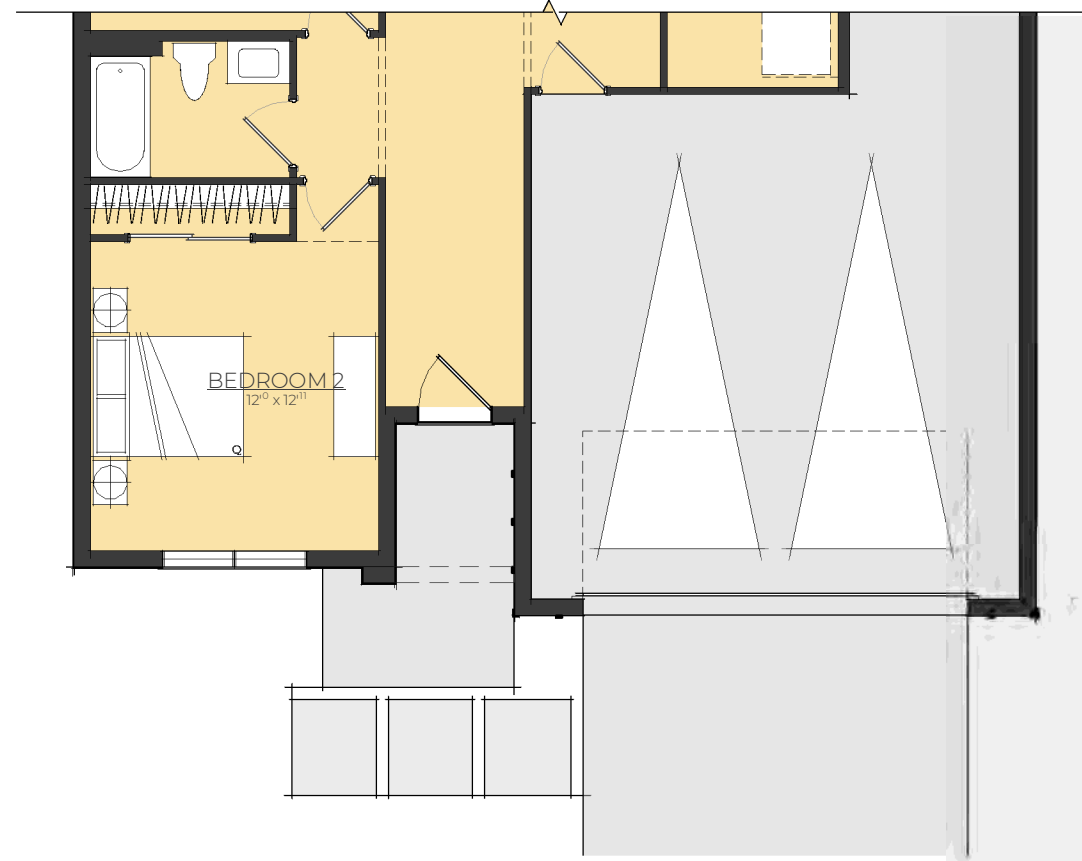
SUBJECT: -  
SHEET NUMBER: D3.1

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ROOF PLAN



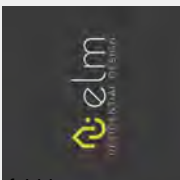
FIRST FLOOR PLAN

SQUARE FOOTAGE  
-  
SHEET NUMBER  
D3.2

DATE  
SD 21  
ISSUE DATE  
09.23.21  
SCALE  
1/8" = 1'-0"

MODEL NAME  
COMMUNITY  
DIVISION

BRIDGTON  
SODO 505  
FL - CENTRAL DIVISION





SECOND FLOOR



FIRST FLOOR



TRANSITIONAL

Driveway/Pedestrian  
walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

BROOKTON

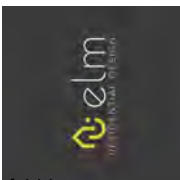
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FL - CENTRAL DIVISION

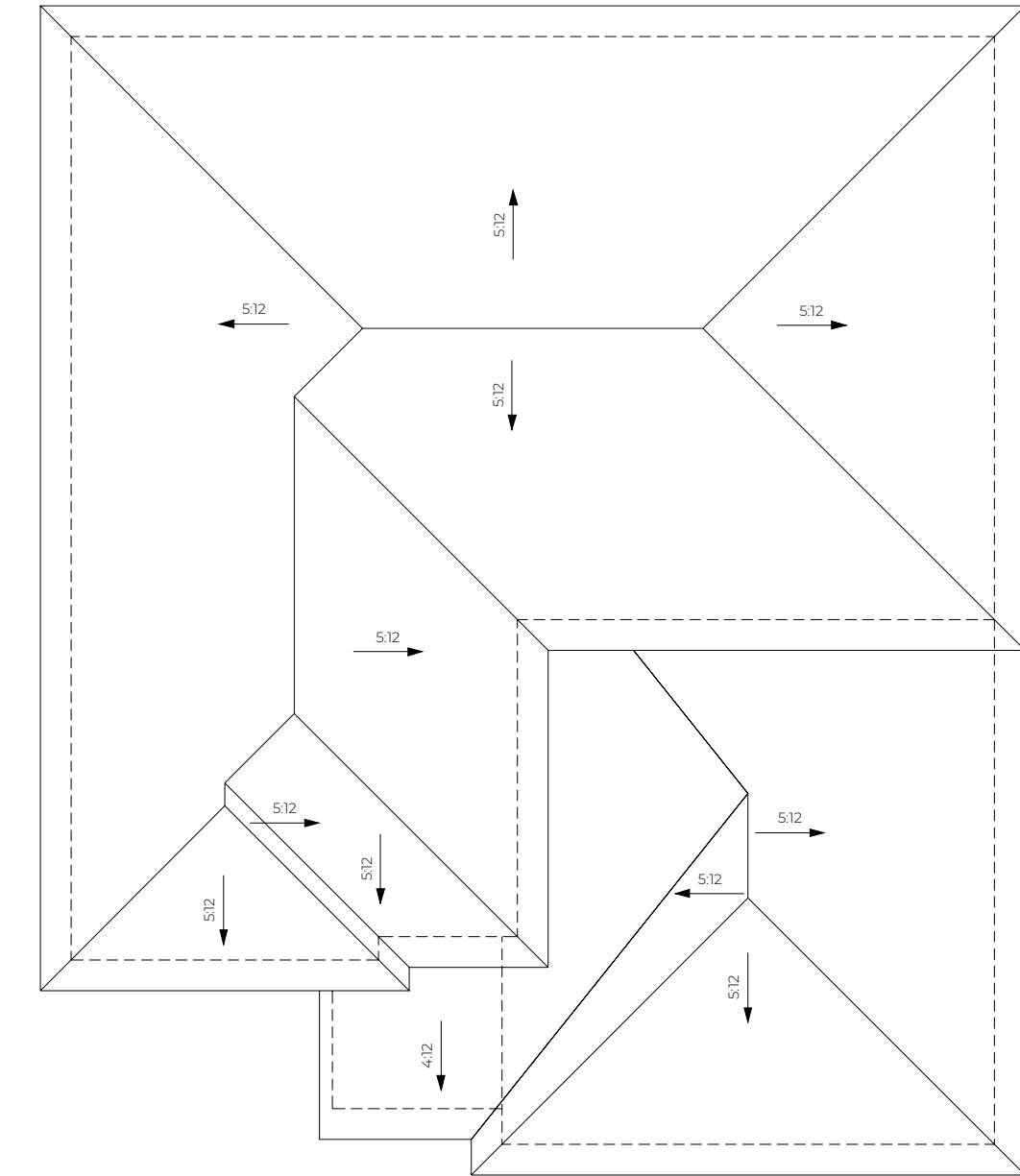
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COMMUNITY:  
SUBVISION:

DATE: SD 21  
ISSUE DATE: 09.23.21  
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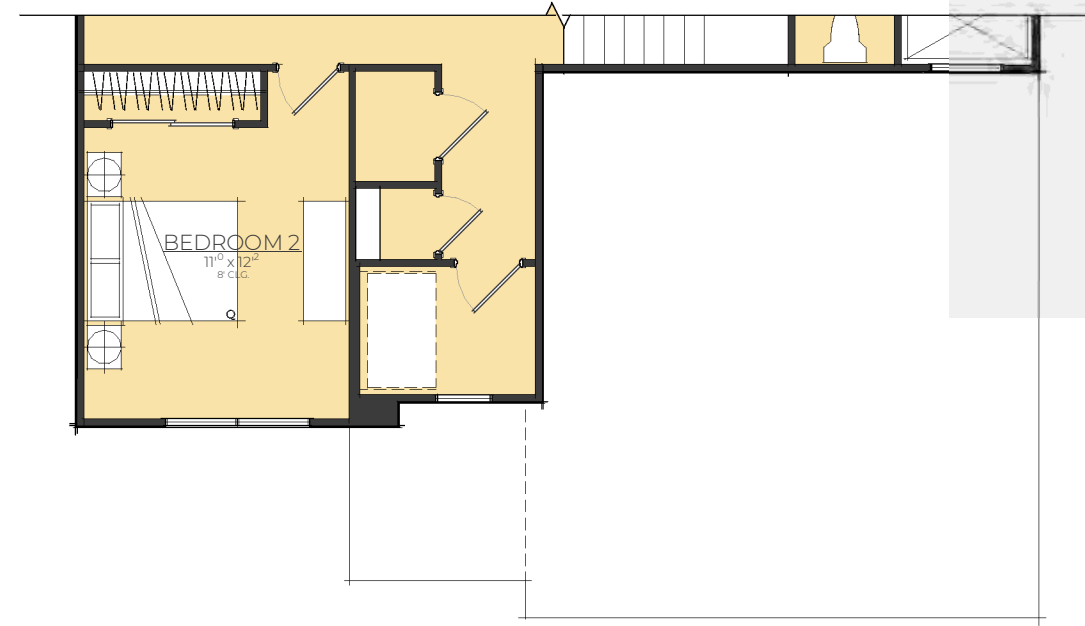
SUBJECT: D4.1  
SHEET NUMBER: D4.1

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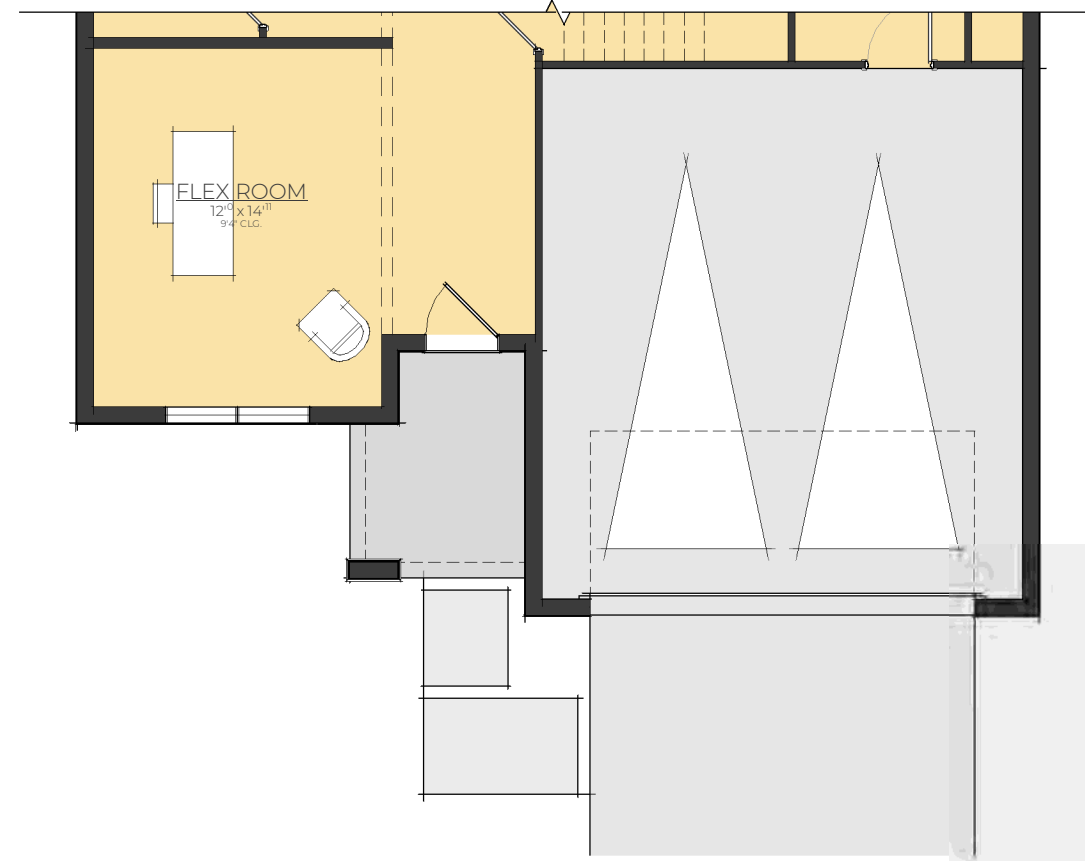




ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SUBJECT: **D4.2**

DATE: **SD 21**  
 ISSUE DATE: **09.23.21**  
 SCALE: **1/8" = 1'-0"**

MODEL NAME:  
 COMMUNITY:  
 SUBVISION:

**BROOKTON**  
 SODO 505  
 FL - CENTRAL DIVISION





SECOND FLOOR

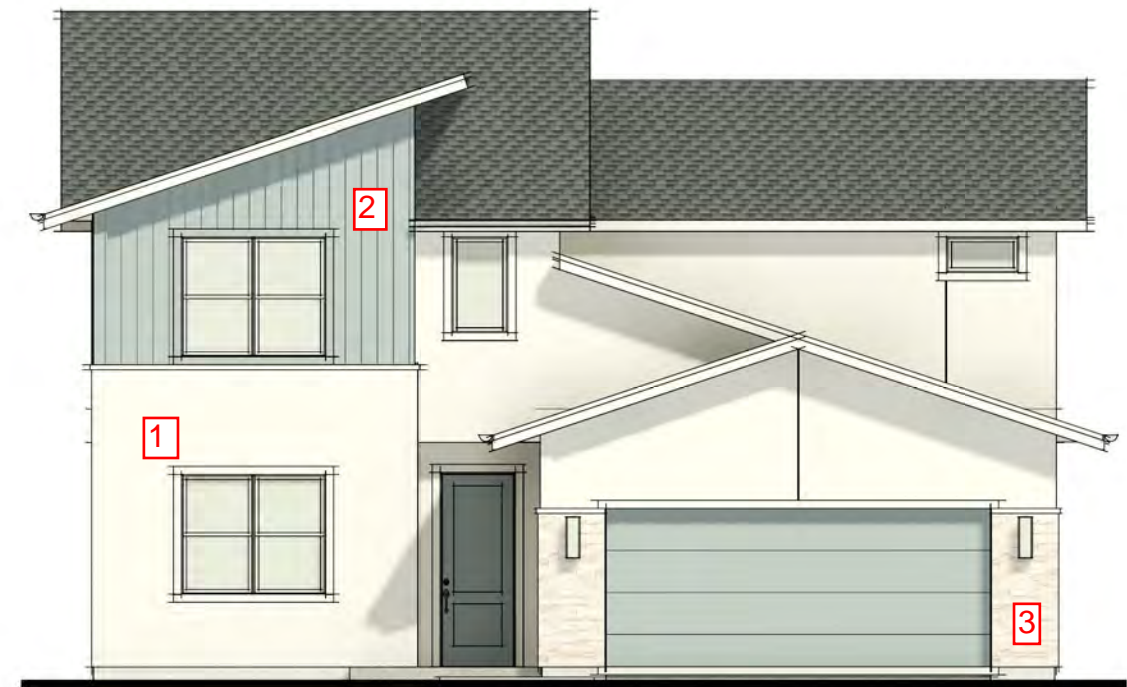


FIRST FLOOR



CONTEMPORARY

Driveway/Pedestrian walkway to be Pavers

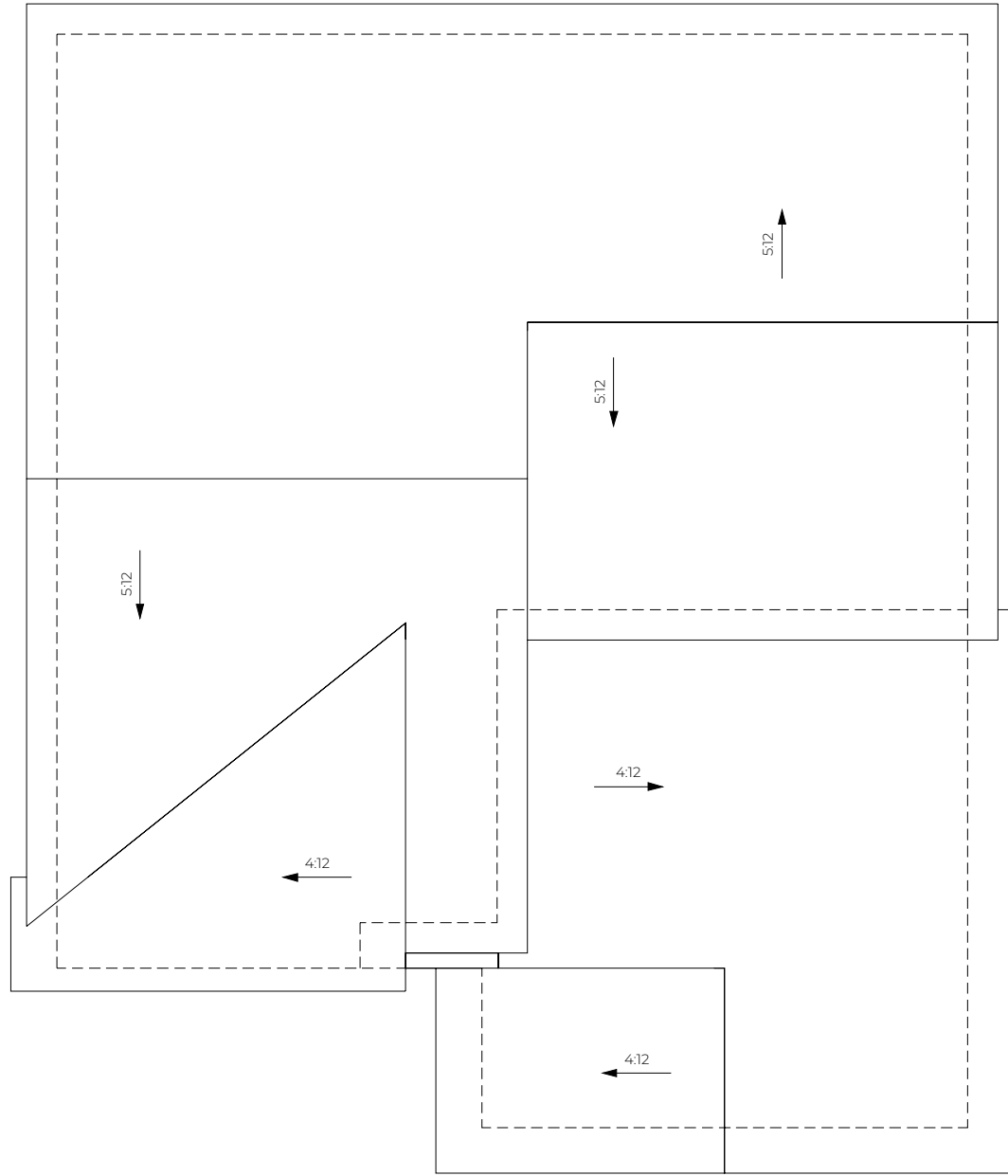


1 = Stucco  
2 = Siding  
3 = Stone

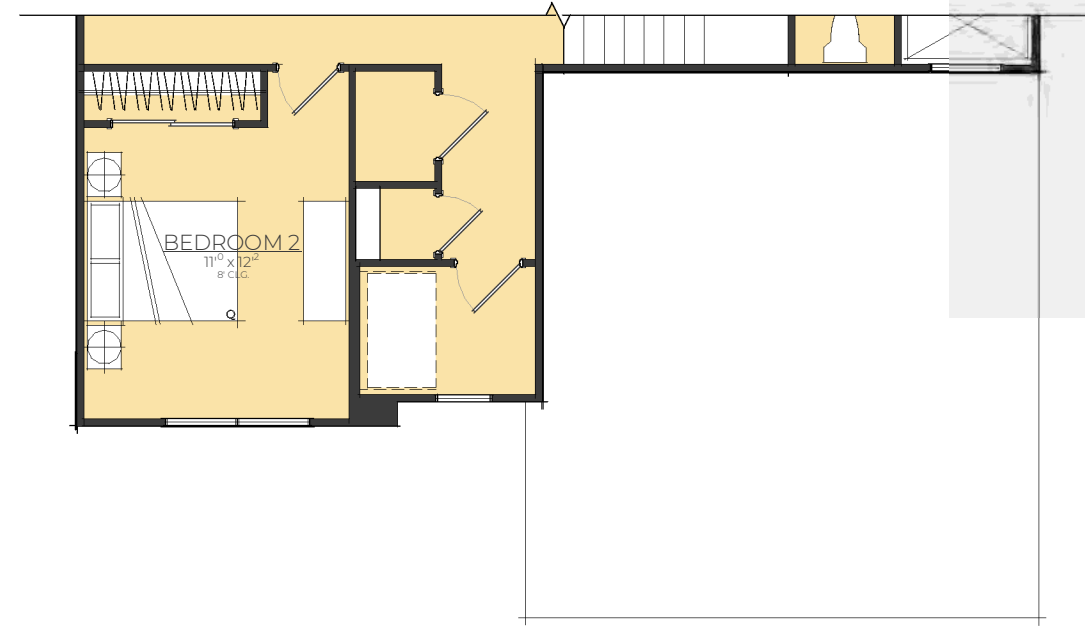
FRONT ELEVATION

BROOKTON

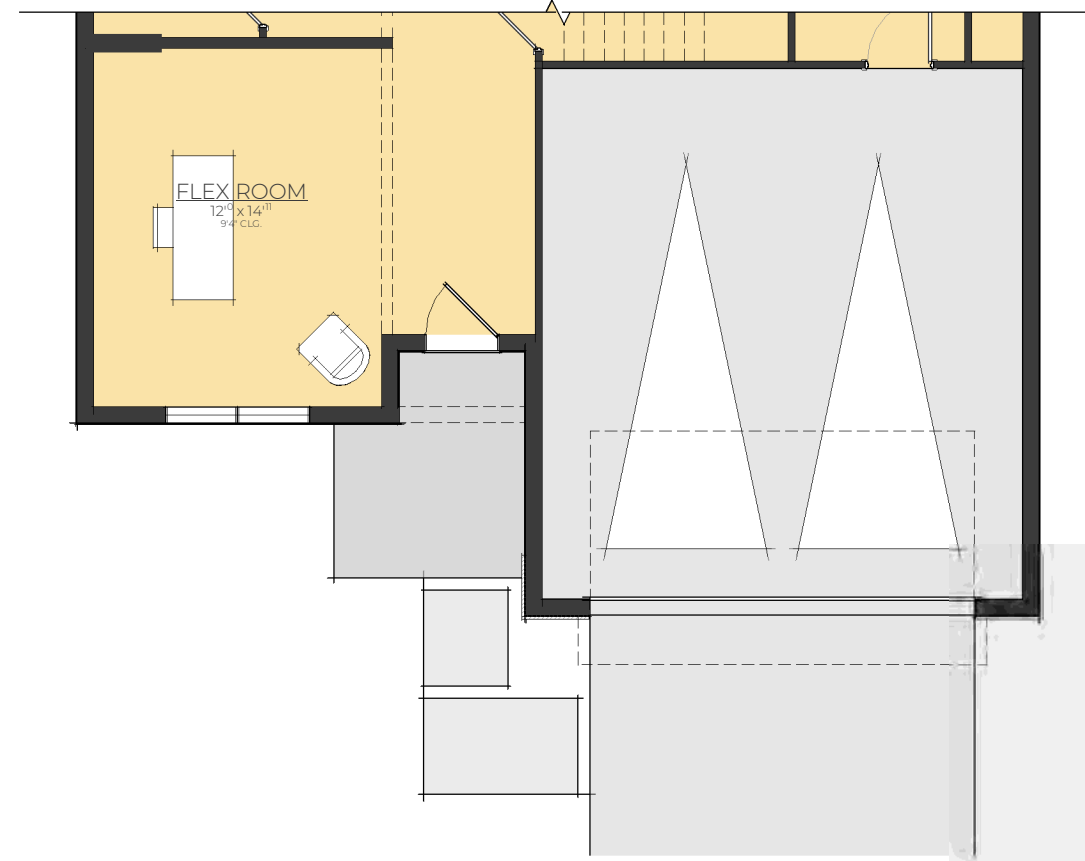
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FL - CENTRAL DIVISION



ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SUBJECT: **D1.2**

DATE: **SD 21**  
 ISSUE DATE: **09.23.21**  
 SCALE: **1/8" = 1'-0"**

MODEL NAME:  
 COMMUNITY:  
 SUBVISION:

**BROOKTON**  
 SODO 505  
 FL - CENTRAL DIVISION





SECOND FLOOR



FIRST FLOOR



MODERN FARMHOUSE

Driveway/Pedestrian walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

BROOKTON

SODO 505  
FL - CENTRAL DIVISION

MODEL NAME:  
COMMUNITY  
SUBVISION:

DATE:  
SD 21

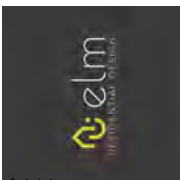
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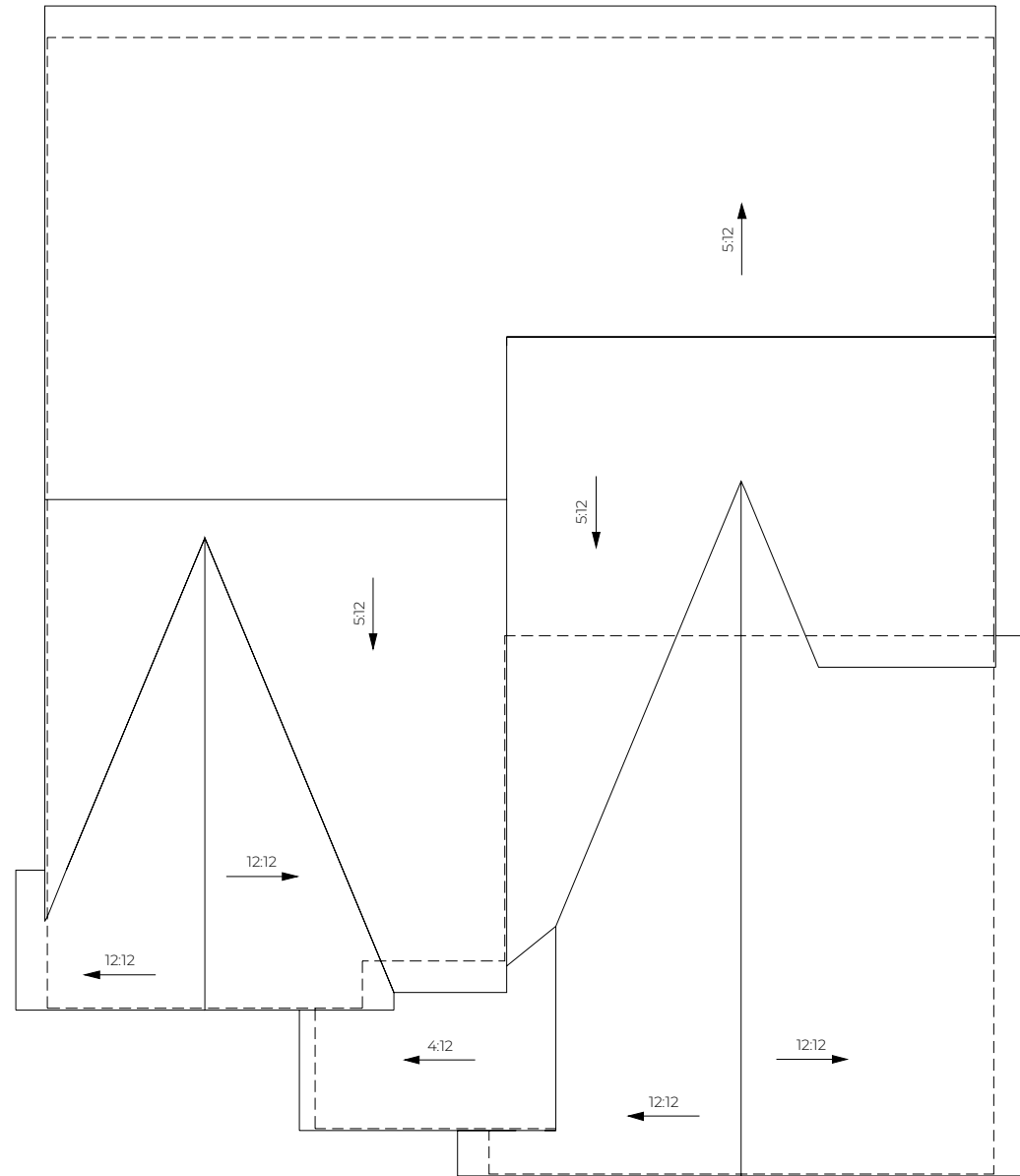
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SUBJECT/PROJECT:  
-

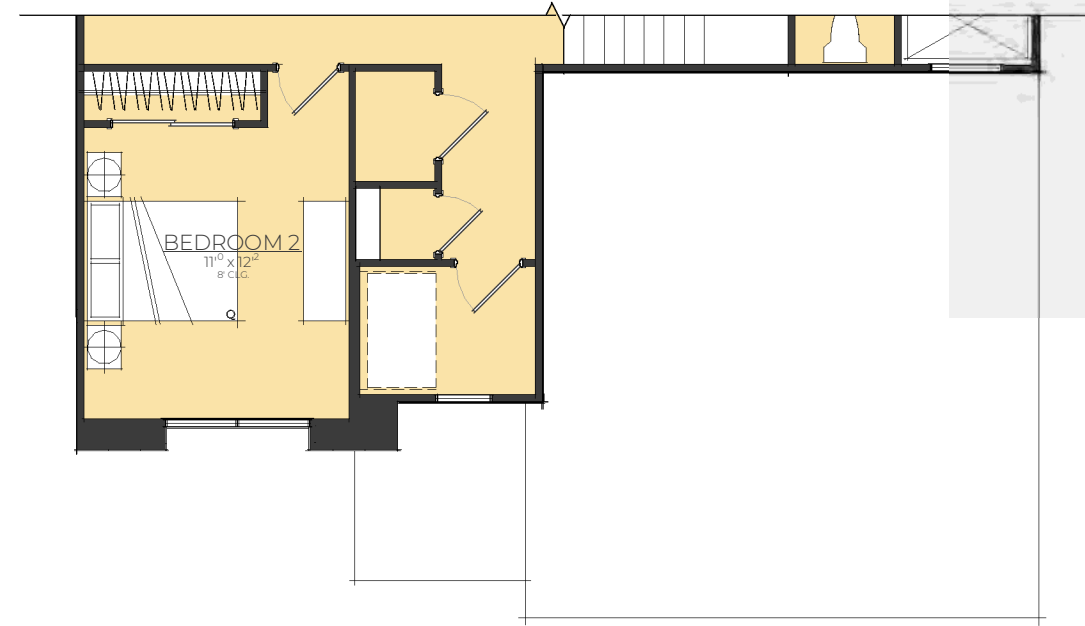
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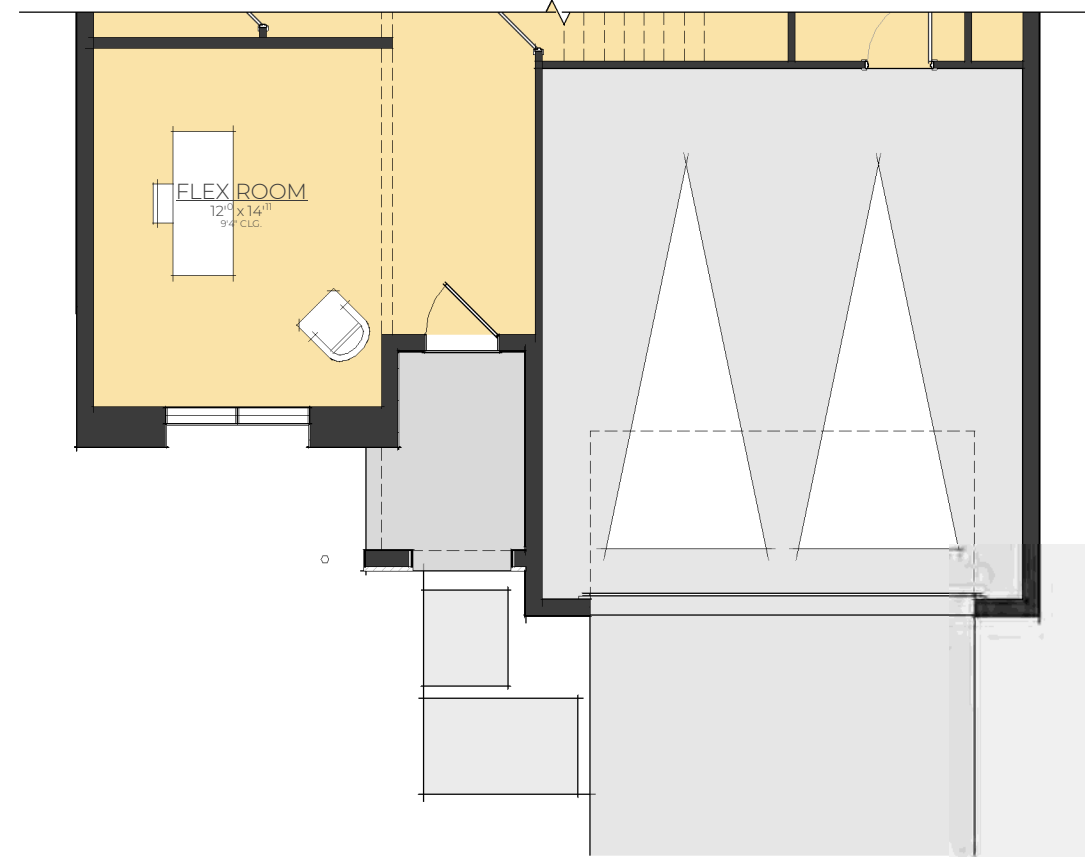




ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SQUARE FOOTAGE  
-  
SHEET NUMBER  
**D3.2**

DATE  
SD 21  
ISSUE DATE  
09.23.21  
SCALE  
1/8" = 1'-0"

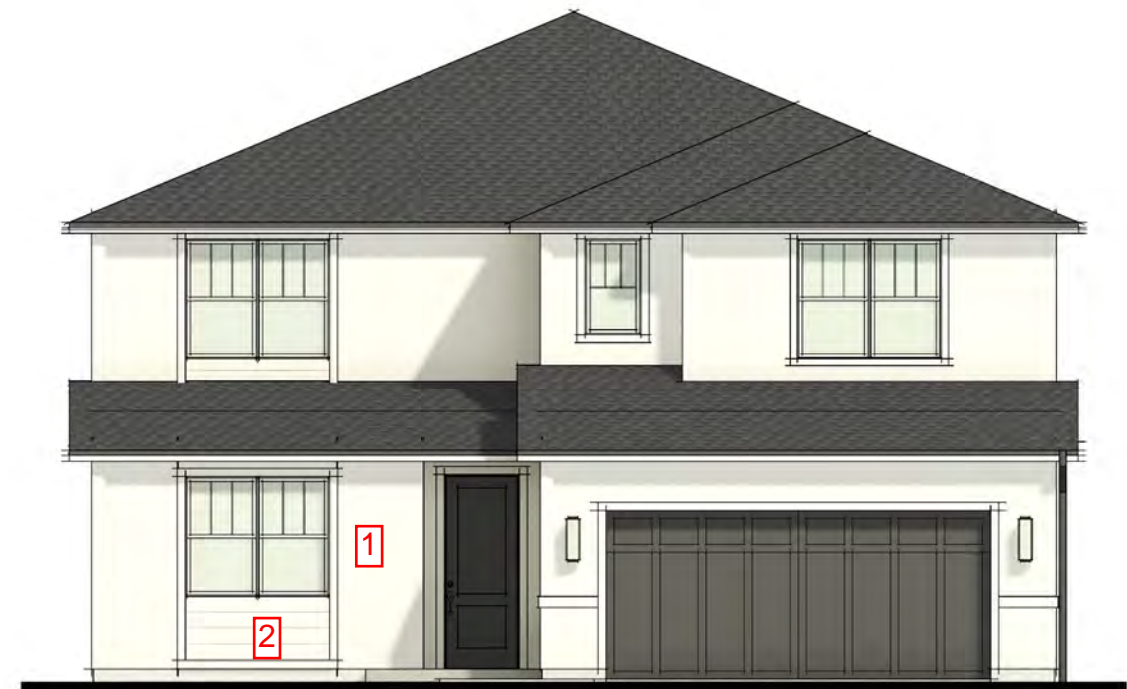
MODEL NAME  
COMMUNITY  
SUBVISION

**BROOKTON**  
SODO 505  
FL - CENTRAL DIVISION



TRANSITIONAL

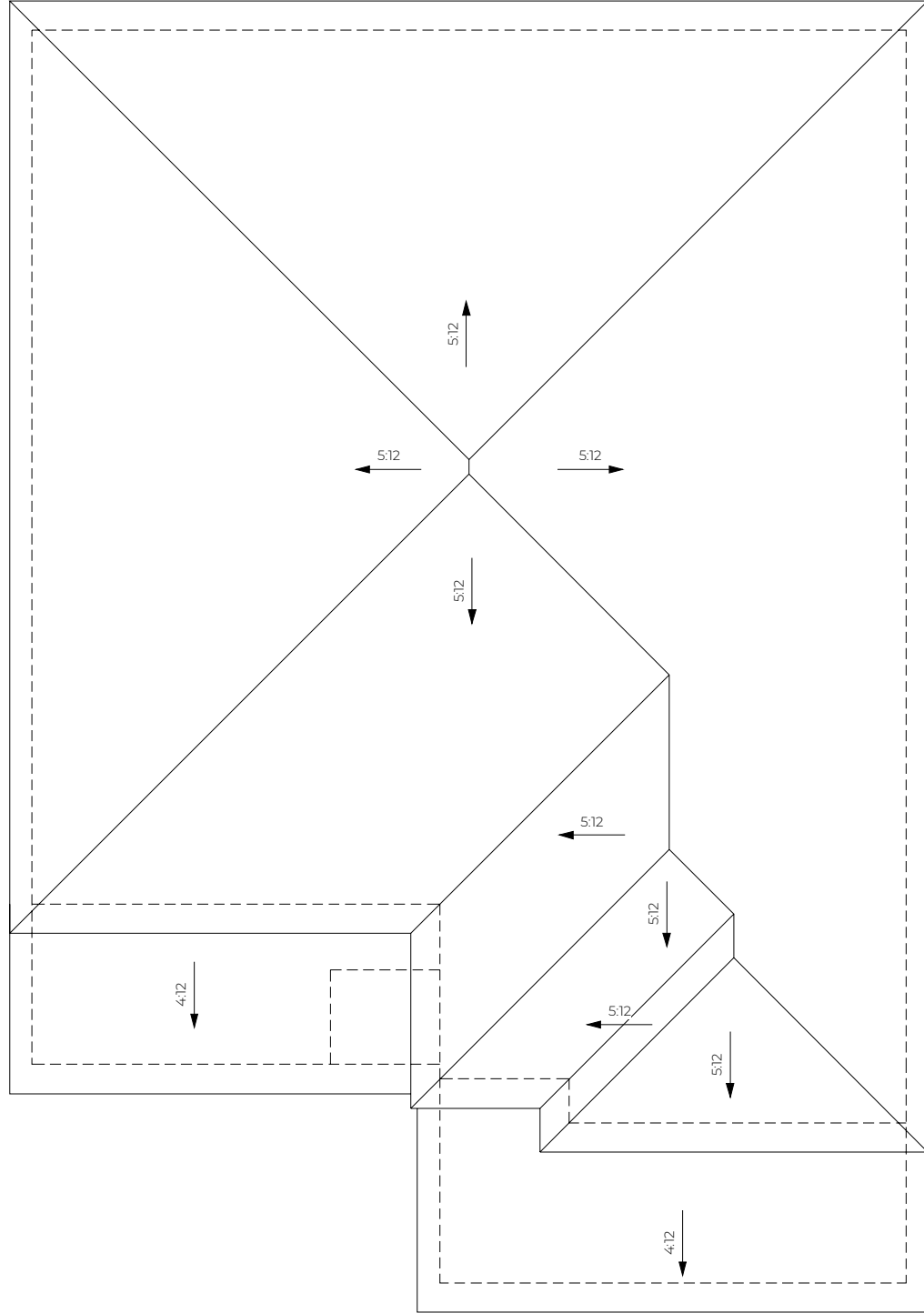
Driveway/Pedestrian walkway to be Pavers



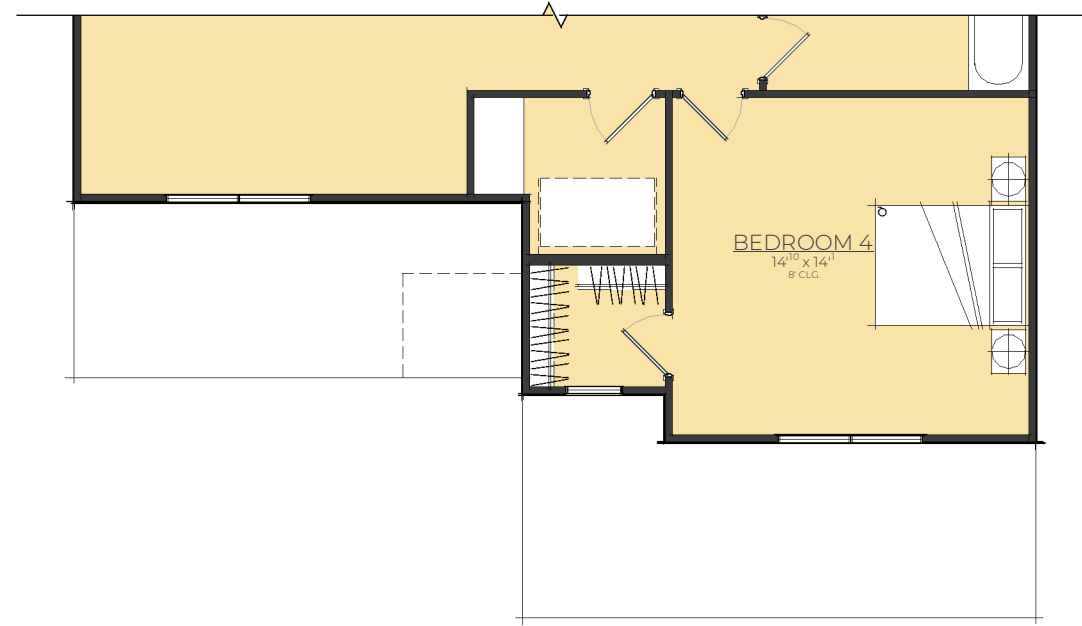
FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

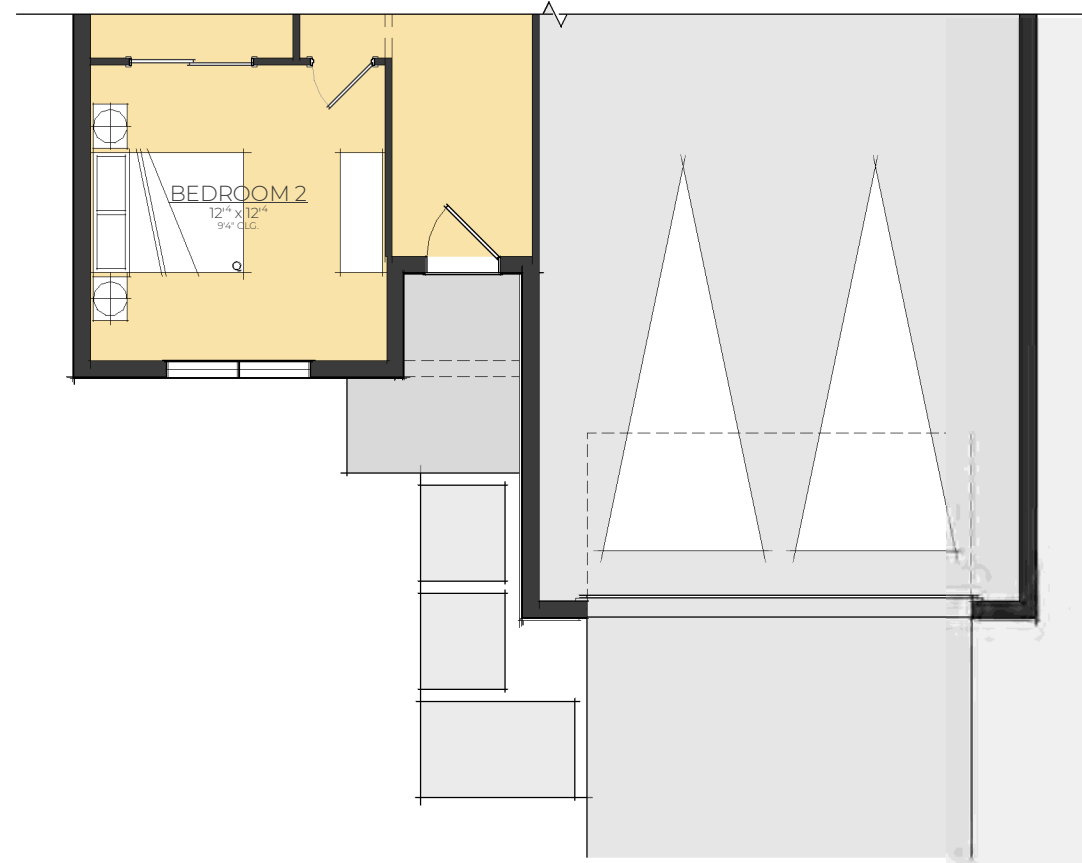
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ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SUBJECT: **D4.2**

DATE: **SD 21**  
 ISSUE DATE: **09.22.21**  
 SCALE: **1/8" = 1'-0"**

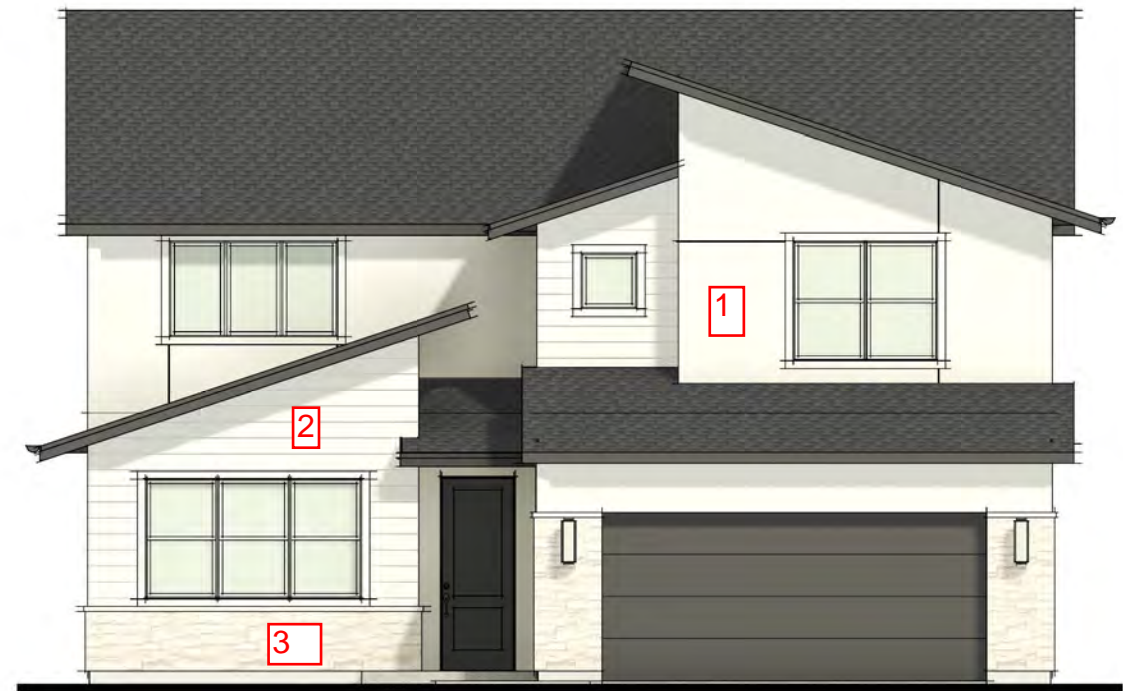
MODEL NAME:  
 COMMUNITY:  
 SUBVISION:

**FERNCROFT**  
 SODO 505  
 FL - CENTRAL DIVISION



CONTEMPORARY

Driveway/Pedestrian walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

FERNCROFT

SODO 505  
FL - CENTRAL DIVISION

MODEL NAME:  
COMMUNITY  
SUBVISION:

IMAGE:  
SD 21

ISSUE DATE:  
09.22.21

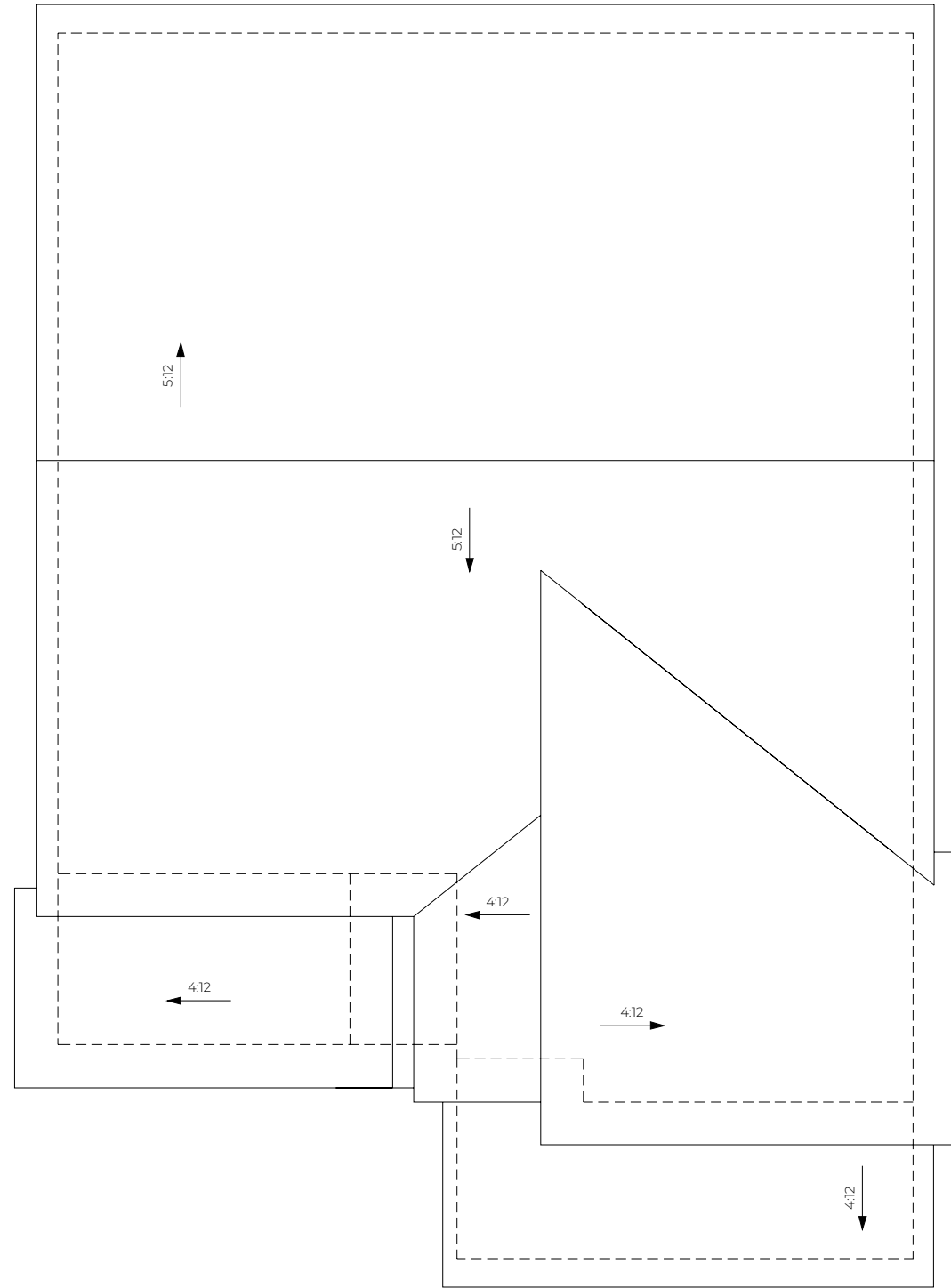
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1/8" = 1'-0"

SUBJECT/NOTES:

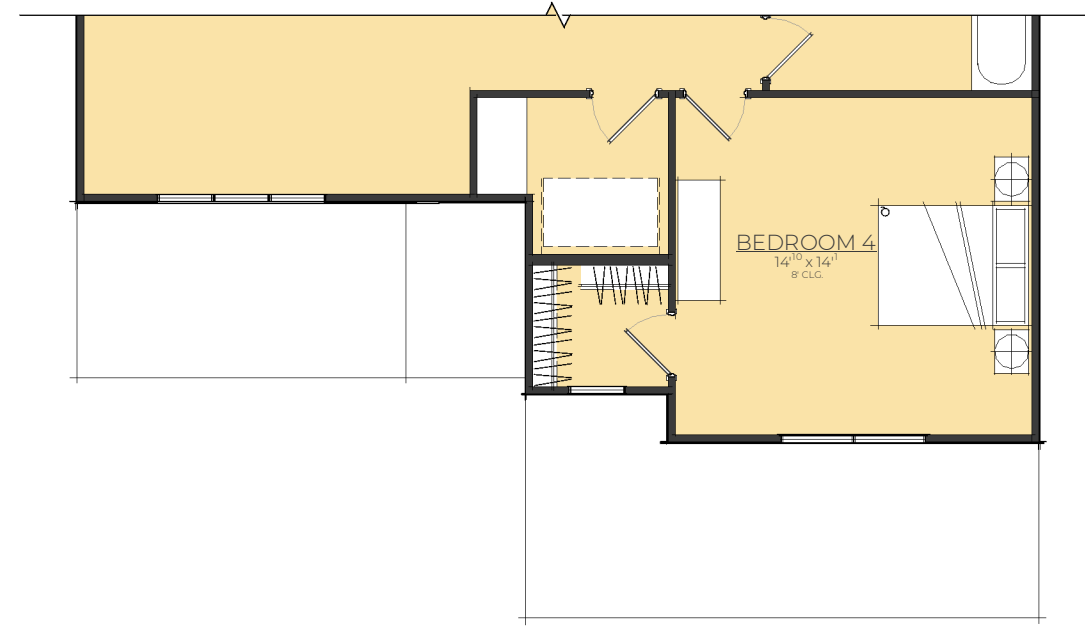
SHEET NUMBER:  
D1.1

Photographs, renderings, and floor plans are for representational purposes only and may not reflect the exact features or dimensions of your home. All dimensions are subject to field variations. Some design features and options shown may not be offered in your community. All options to be included in an Exhibit B to the Agreement of Sale. All Toll Brothers floor plans and designs are copyright. All rights reserved and strictly enforced. This is not an offering where prohibited by law. Please contact your sales representative for details.

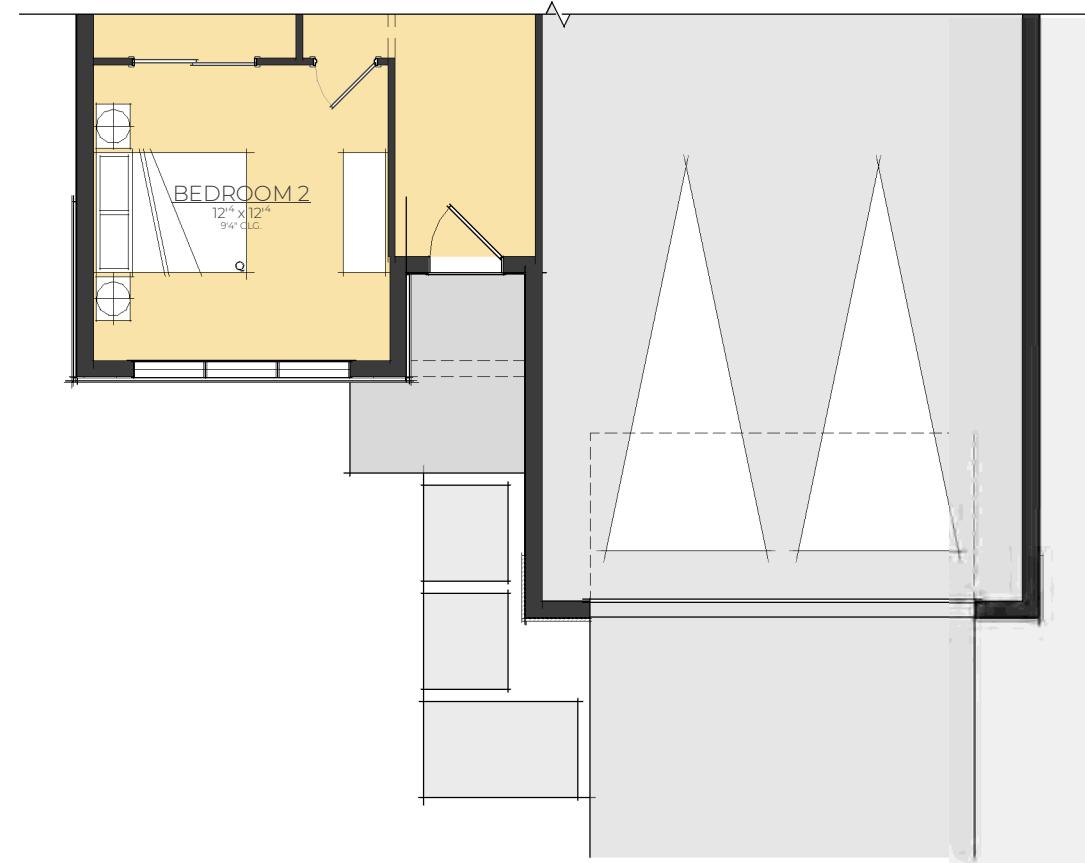




ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SUBJECT: **D1.2**

DATE: **SD 21**  
 ISSUE DATE: **09.22.21**  
 SCALE: **1/8" = 1'-0"**

MODEL NAME:  
 COMMUNITY:  
 DIVISION:

**FERNCROFT**  
 SODO 50S  
 FL - CENTRAL DIVISION





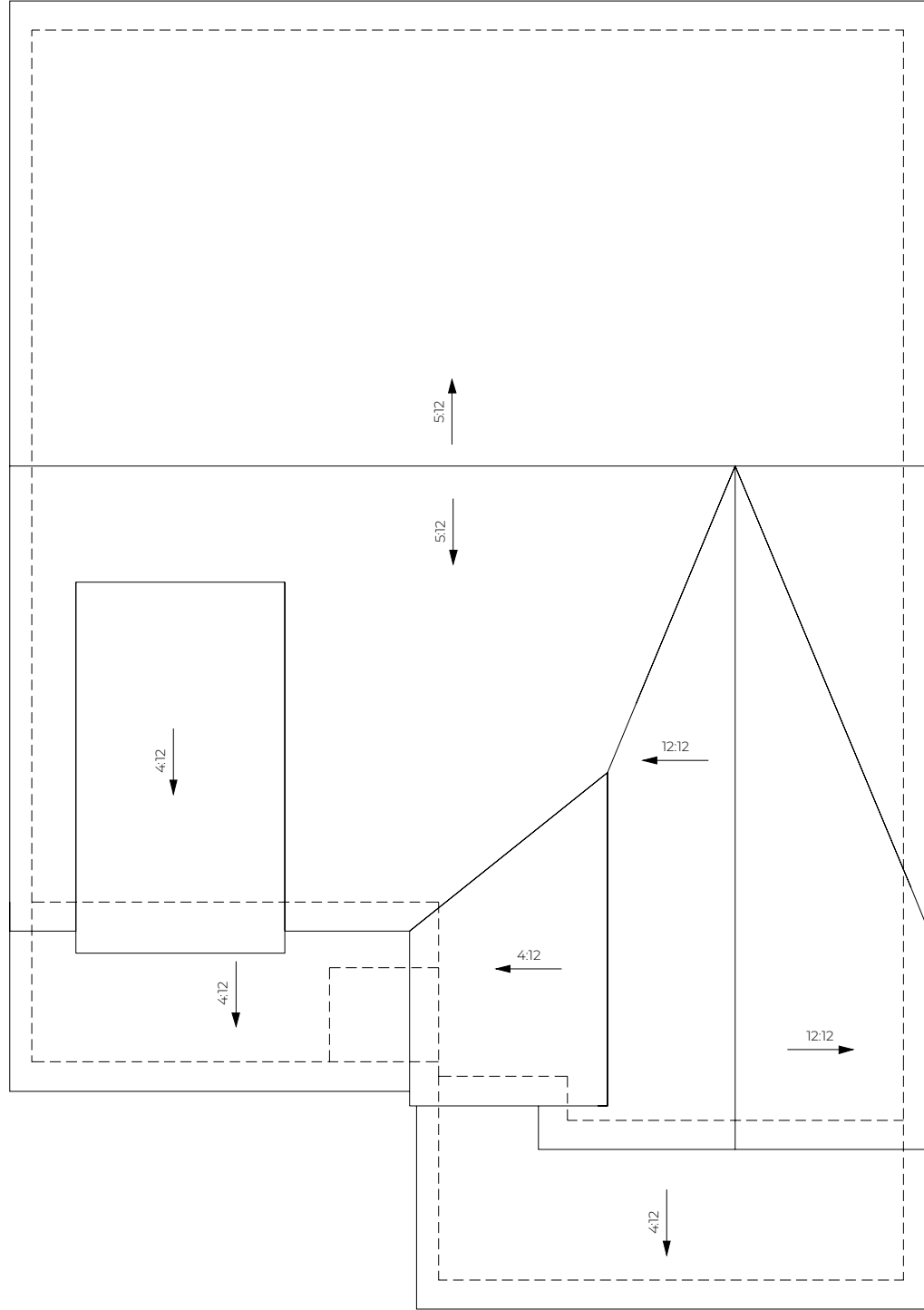
MODERN FARMHOUSE

Driveway/Pedestrian walkway to be Pavers

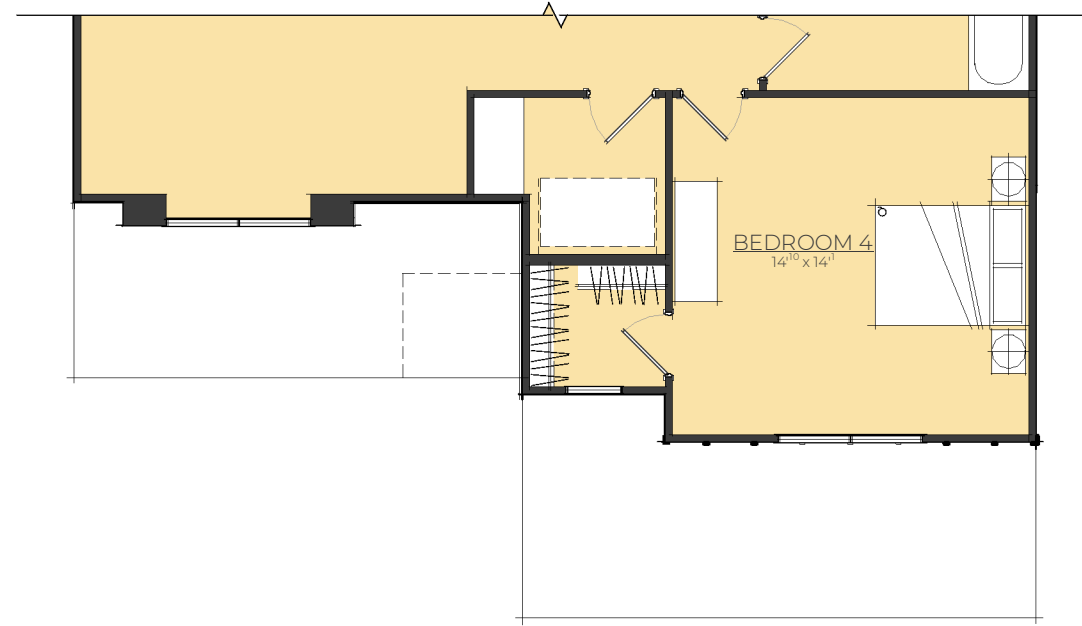


FRONT ELEVATION

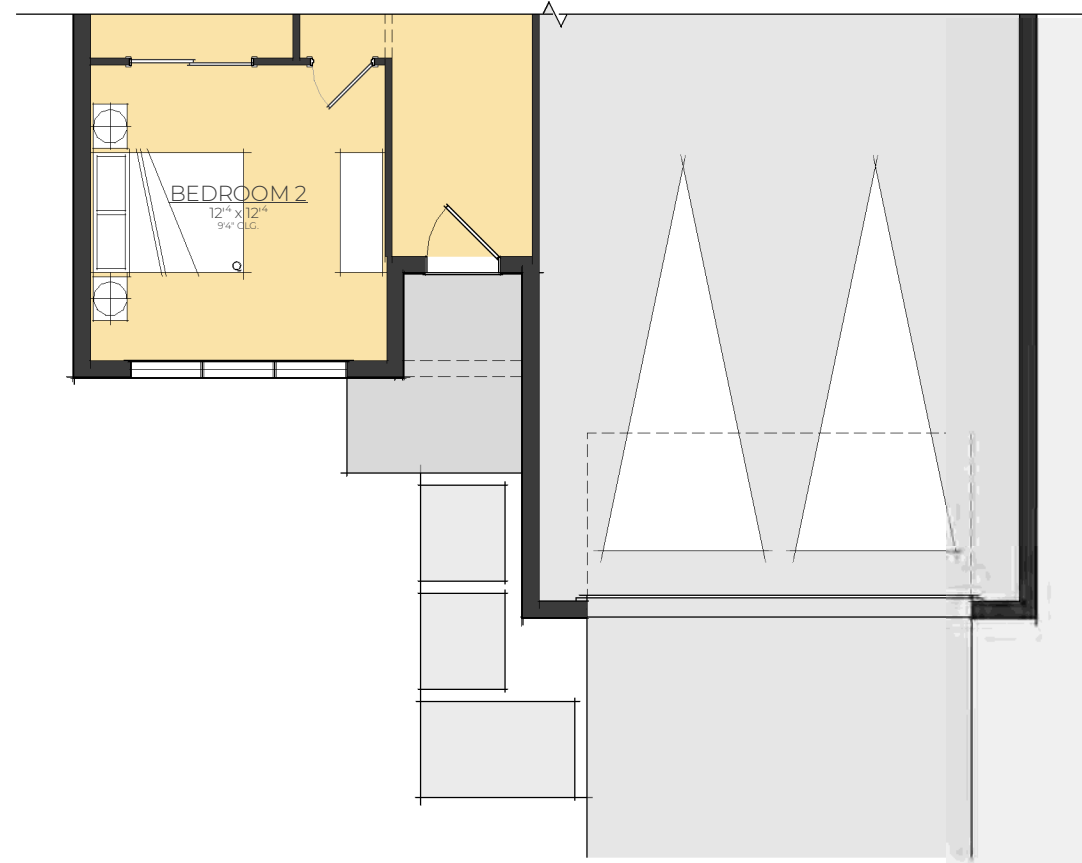
Photographs, renderings, and floor plans are for representational purposes only and may not reflect the exact features or dimensions of your home. All dimensions are shown to field variations. Some design features and options shown may not be offered in your community. All options to be included in your home must be specified in an Exhibit B to the Agreement of Sale. All Toll Brothers floor plans and designs are copyright. All rights reserved and strictly enforced. This is not an offering where prohibited by law. Please contact your sales representative for details.



ROOF PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

SUBPROJECT -  
SHEET NUMBER  
**D3.2**

DATE  
SD 21  
ISSUE DATE  
09.22.21  
SCALE  
1/8" = 1'-0"

MODEL NAME  
COMMUNITY  
DIVISION

**FERNCROFT**  
SODO 50S  
FL - CENTRAL DIVISION



SECOND FLOOR



FIRST FLOOR

Photographs, renderings, and floor plans are for representational purposes only and may not reflect the exact features or construction of your home. All dimensions subject to field conditions. Some design features and options shown may not be offered in your community. All options to be included in your home must be specified in an Exhibit B to the Agreement of Sale. At Toll Brothers (both plans and elevations) are copyrighted. All rights reserved and hereby noticed. This is just an offering where prohibited by law. Please contact us soon representative for details.



TRANSITIONAL

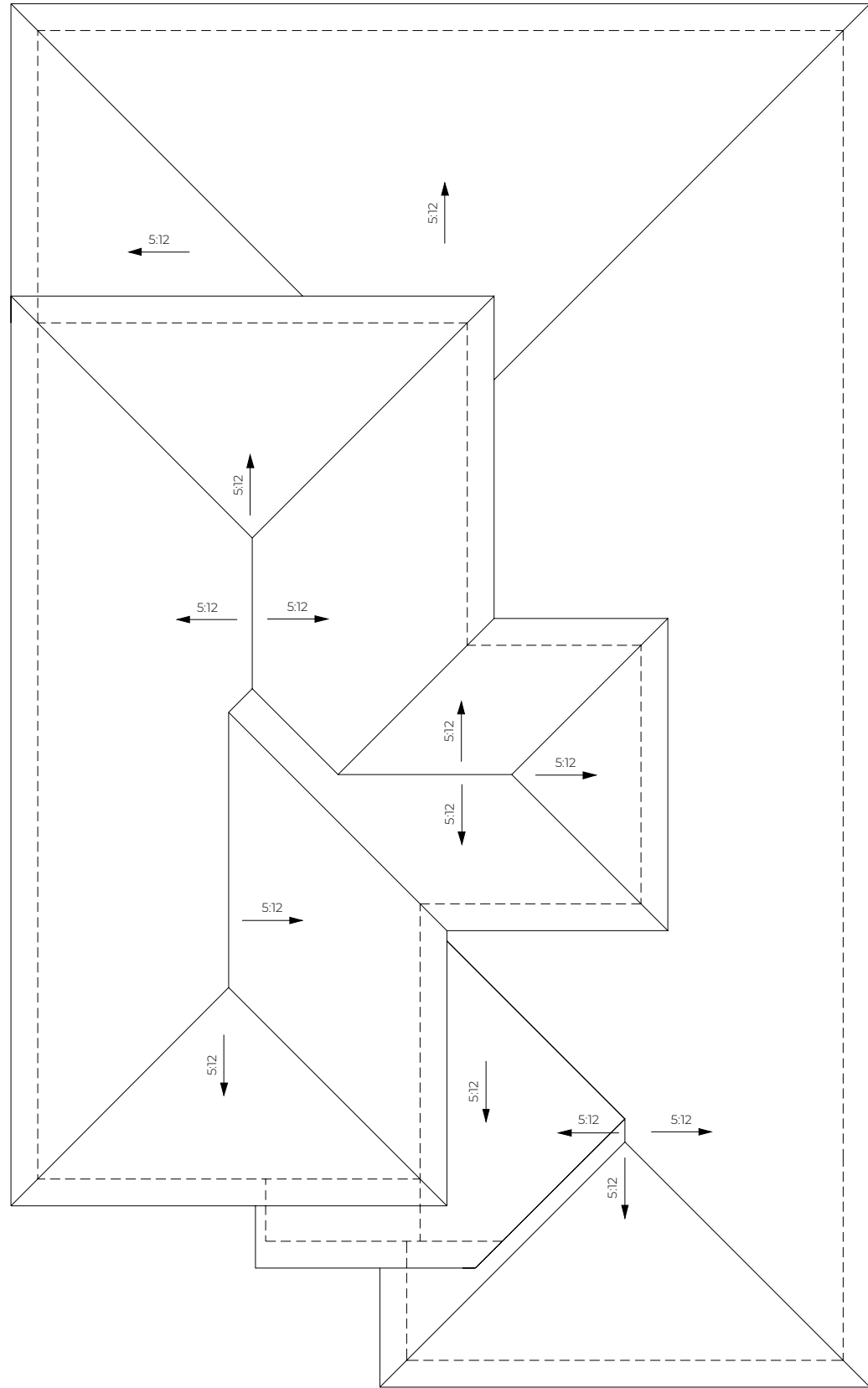
Driveway/Pedestrian walkway to be Pavers



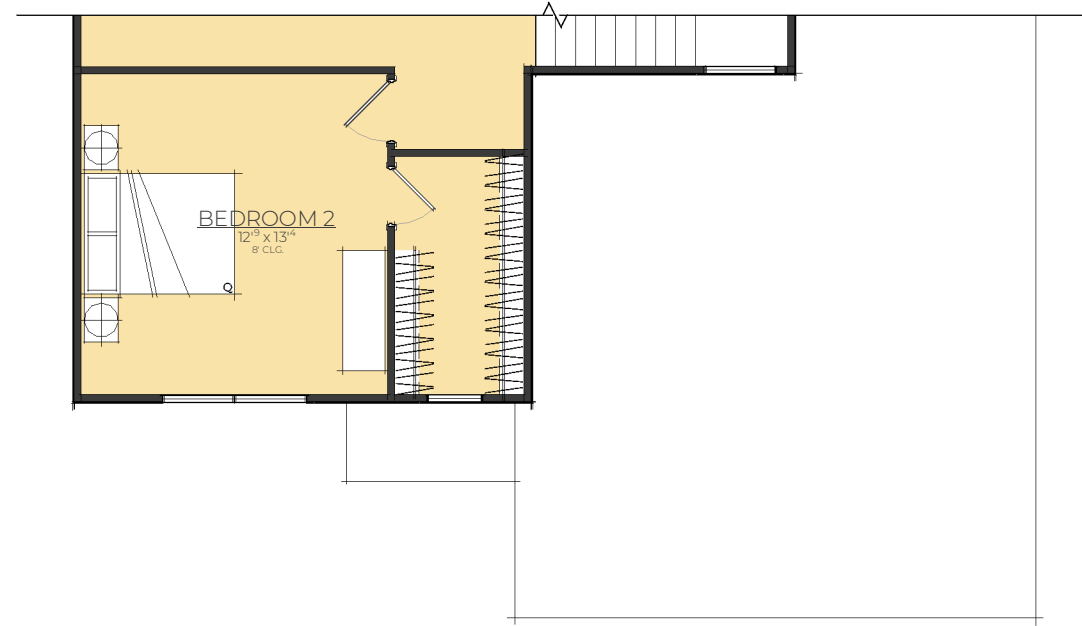
FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

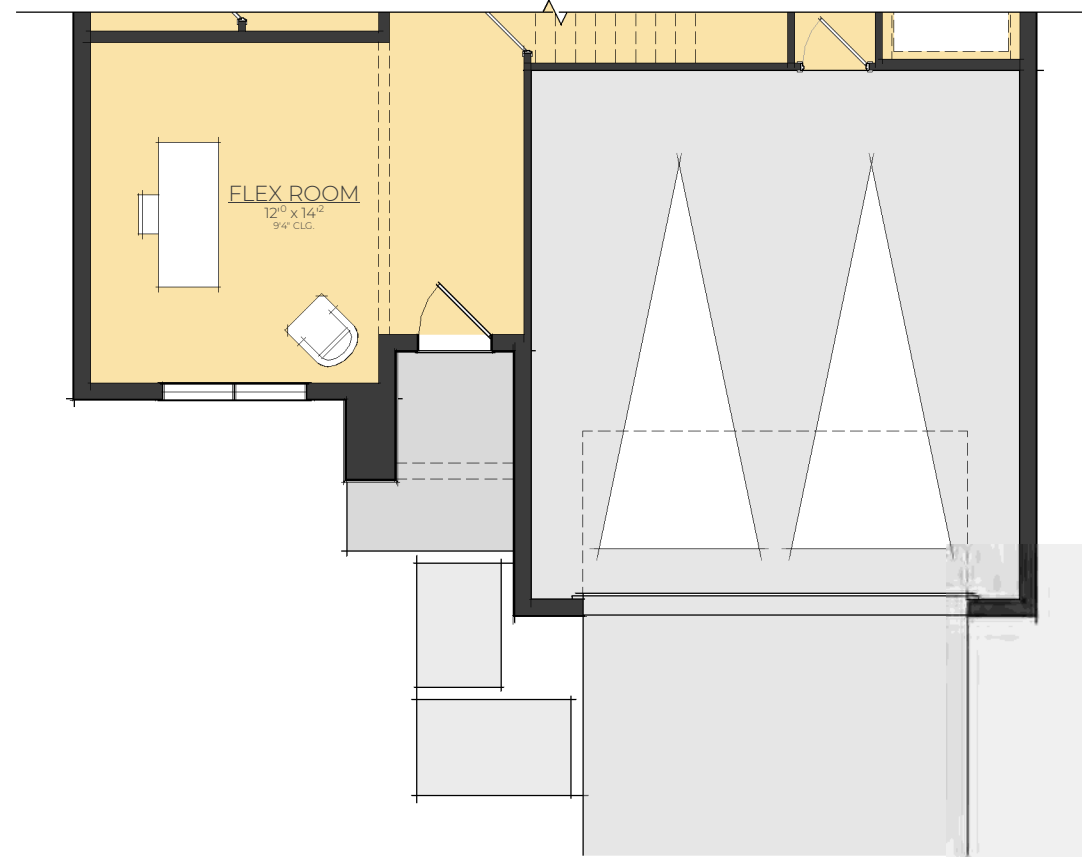




ROOF PLAN



SECOND FLOOR PLAN



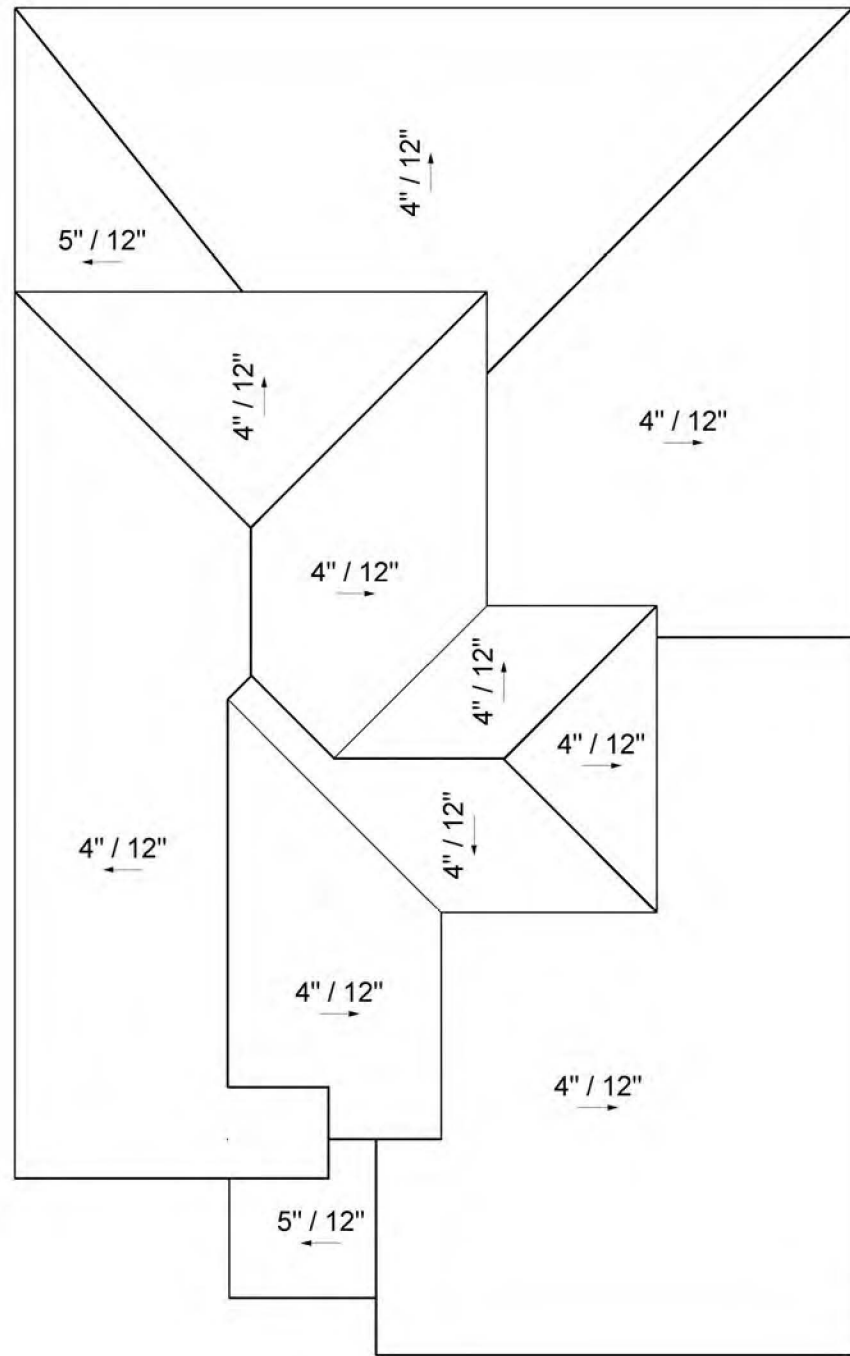
FIRST FLOOR PLAN

SUBJECT: -  
SHEET NUMBER: D4.2

DATE: SD 21  
ISSUE DATE: 09.22.21  
SCALE: 1/8" = 1'-0"

MODEL NAME:  
COMMUNITY:  
SUBVISION:

WELSFORD  
SODO 505  
FL - CENTRAL DIVISION

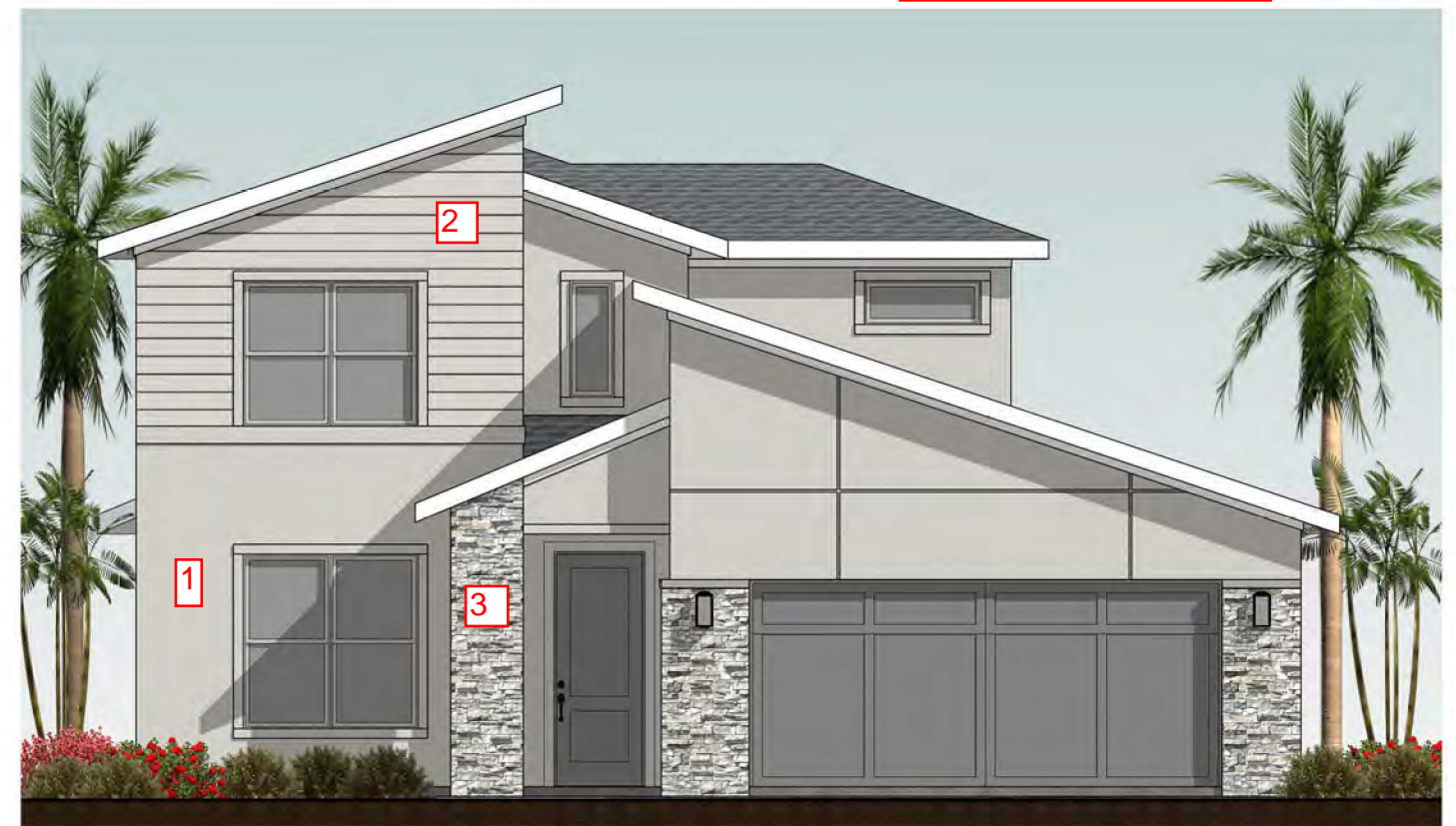


ROOF PLAN

- 1 = Stucco
- 2 = Siding
- 3 = Stone



Driveway/Pedestrian walkway to be Pavers





SECOND FLOOR



FIRST FLOOR

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MODERN FARMHOUSE

Driveway/Pedestrian  
walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

WELSFORD

SODO 505  
FL - CENTRAL DIVISION

MODEL NAME:  
COMMUNITY  
SUBVISION:

IMAGE  
SD 21

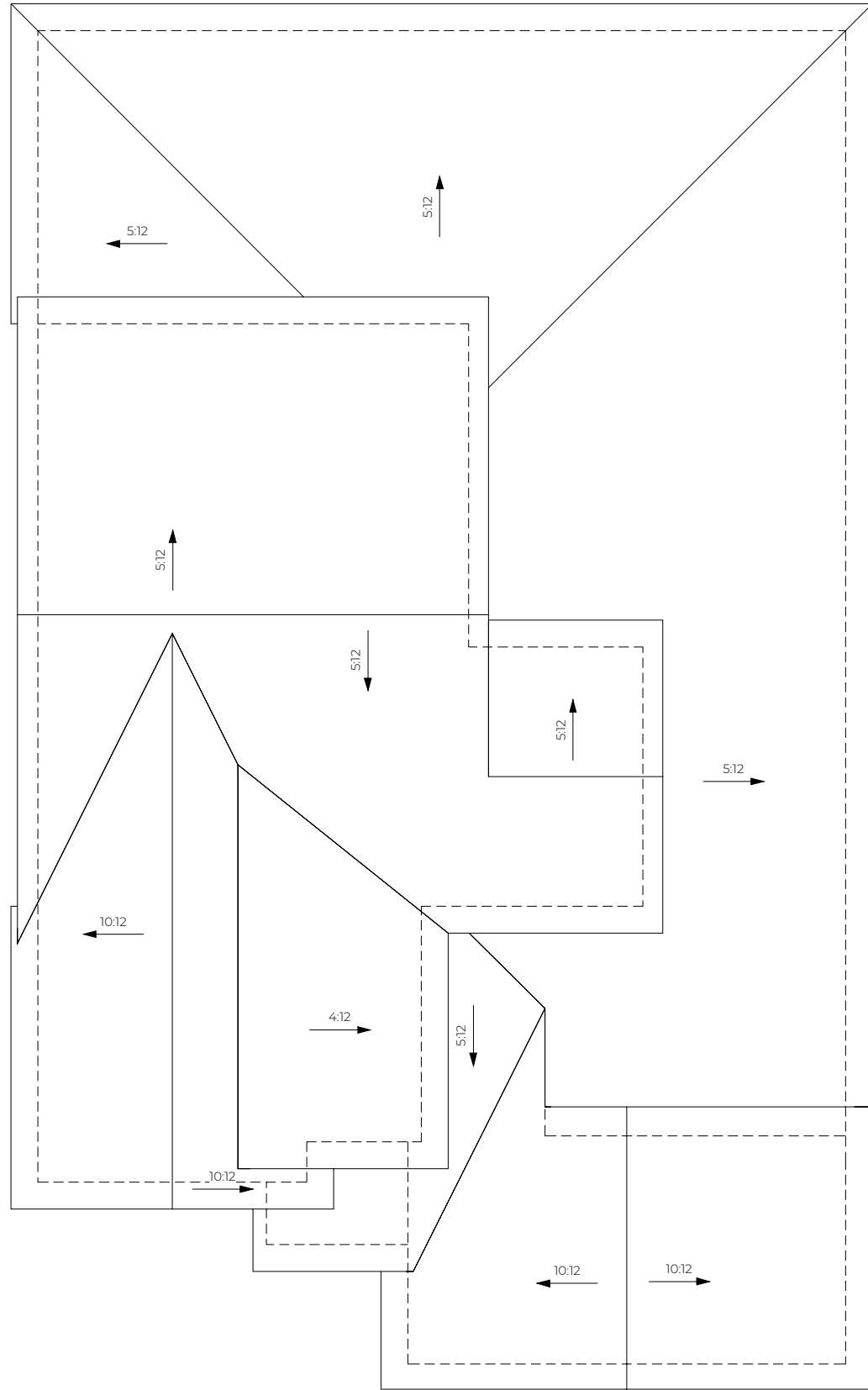
ISSUE DATE:  
09.22.21

SCALE:  
1/8" = 1'-0"

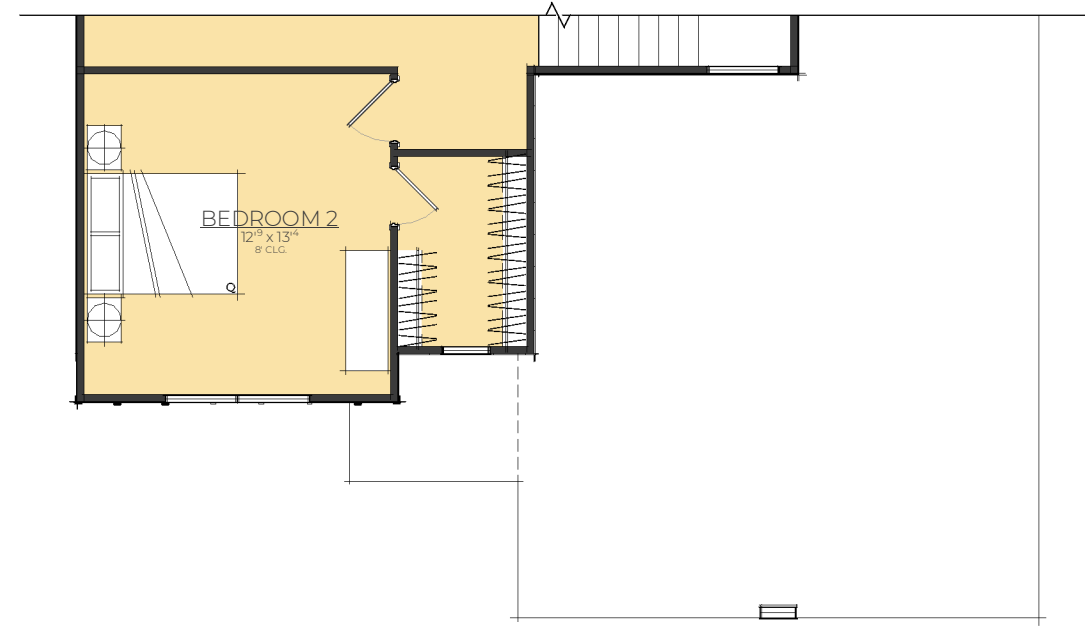
SUBJECT MATTER  
SHEET NUMBER

D3.1

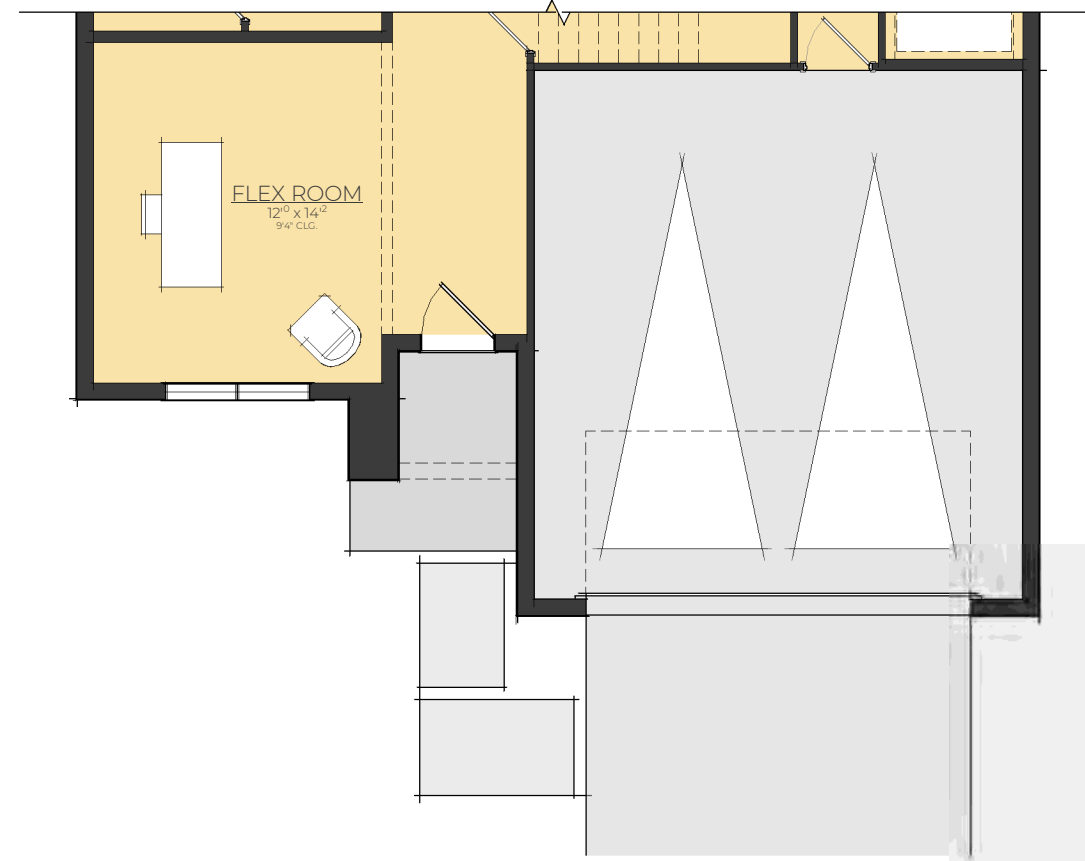




ROOF PLAN



SECOND FLOOR PLAN



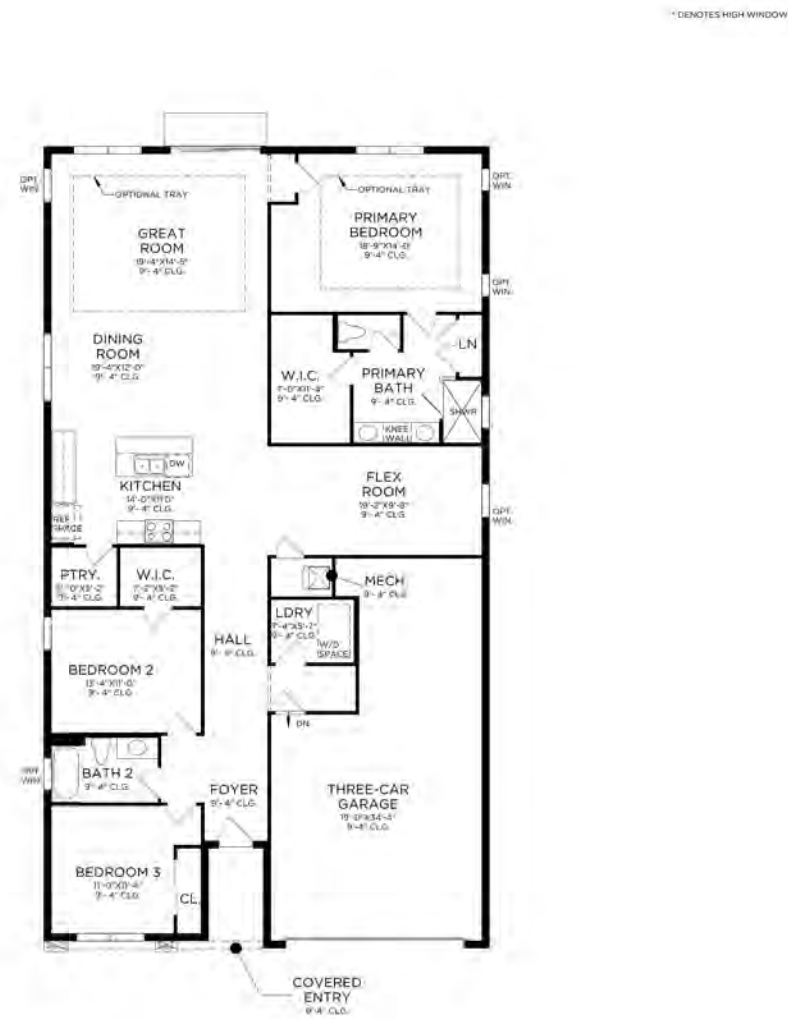
FIRST FLOOR PLAN

SUBJECT MATTER  
-  
SHEET NUMBER  
**D3.2**

DATE  
SD 21  
ISSUE DATE  
09.22.21  
SCALE  
1/8" = 1'-0"

MODEL NAME  
COMMUNITY  
SUBVISION

**WELSFORD**  
SODO 505  
FL - CENTRAL DIVISION



FIRST FLOOR



TRANSITIONAL

Driveway/Pedestrian  
walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

WILMOT

SODO 505  
FL - CENTRAL DIVISION

MODEL NAME:  
COMMUNITY  
SUBVISION:

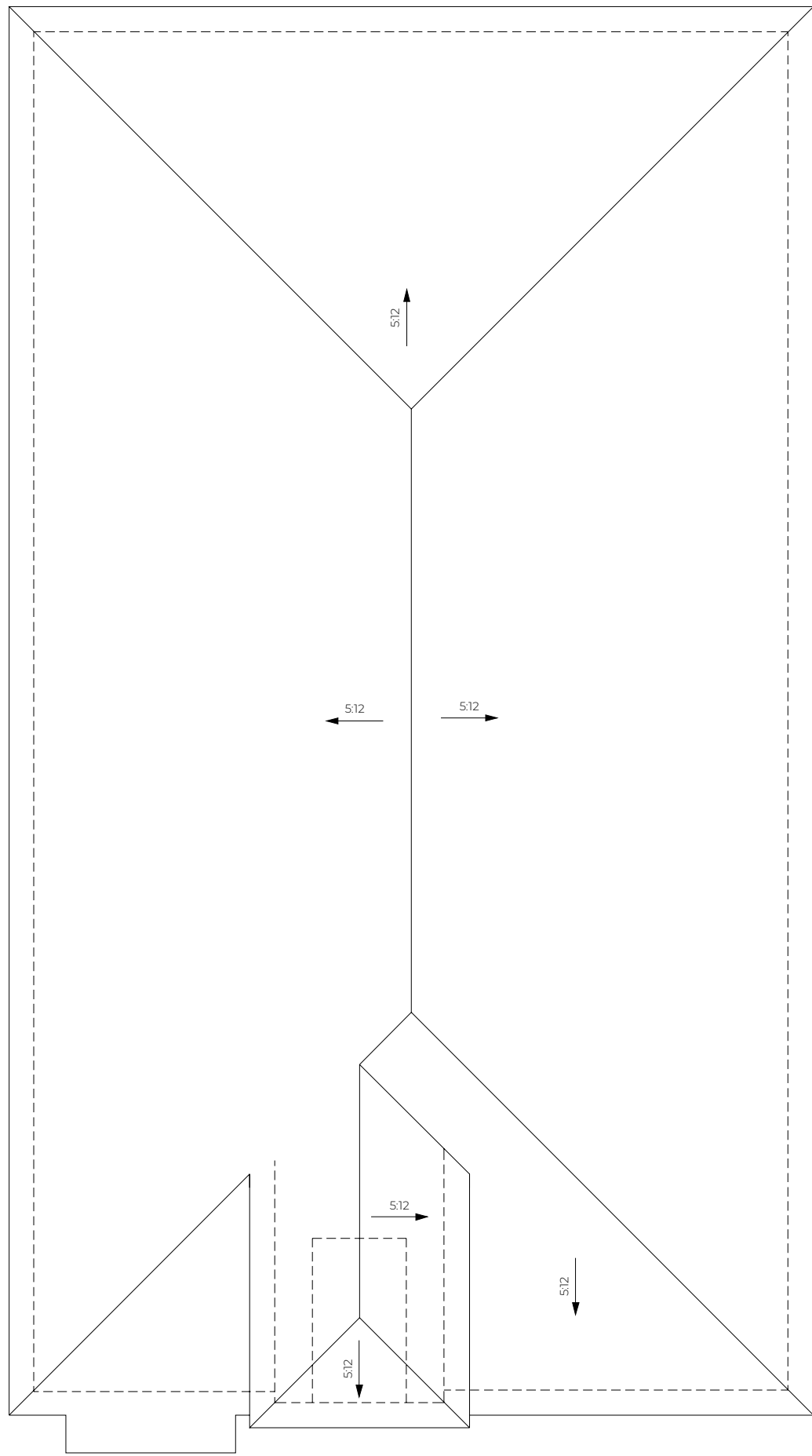
IMAGE:  
SD 21  
ISSUE DATE:  
09.22.21  
SCALE:  
1/8" = 1'-0"

SUBJECT MATTER:  
SHEET NUMBER:  
D4.1

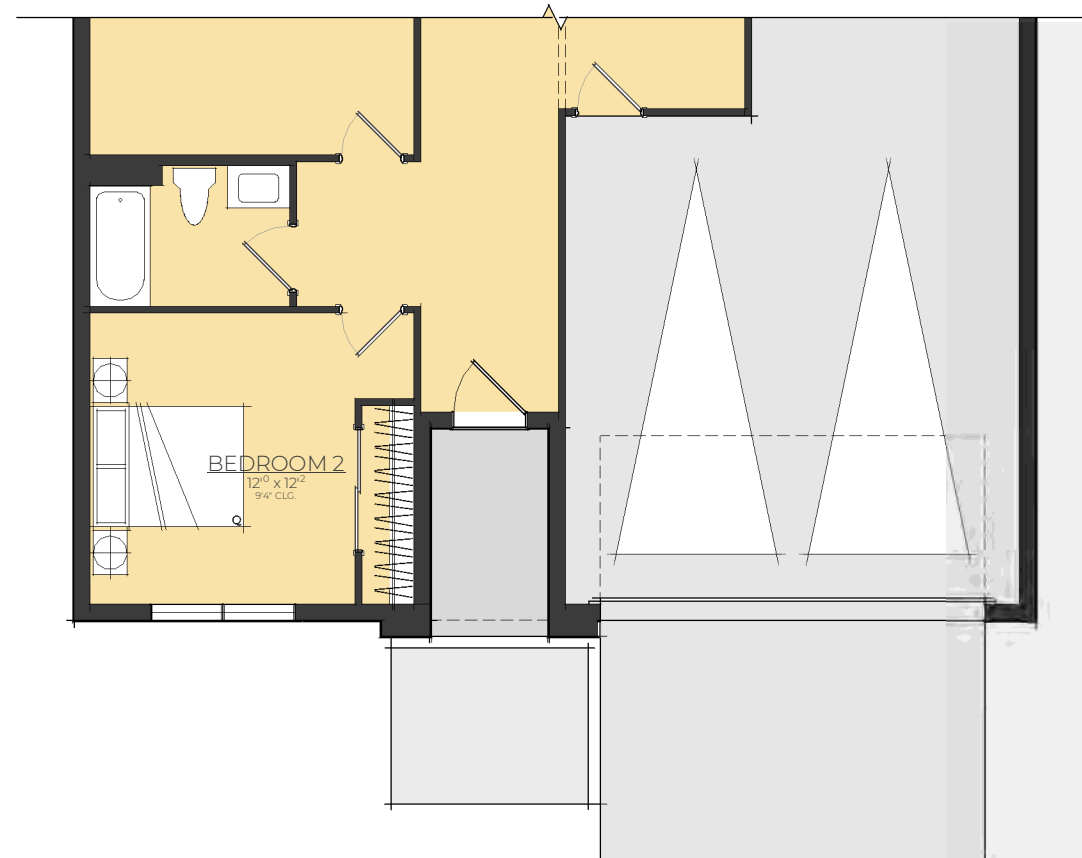
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ROOF PLAN



FIRST FLOOR PLAN

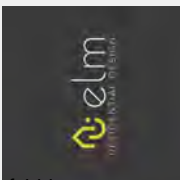
SUBPROJECT -  
SHEET NUMBER  
**D4.2**

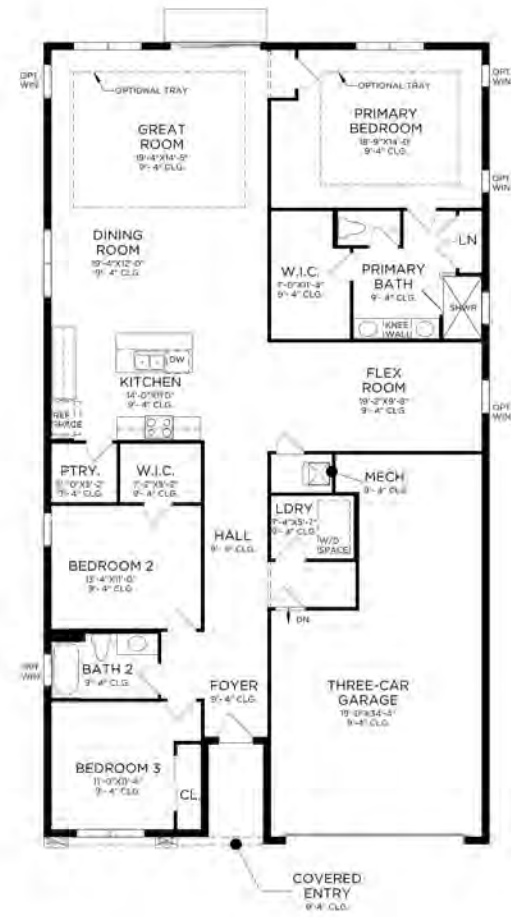
DATE  
SD 21  
ISSUE DATE  
09.22.21  
SCALE  
1/8" = 1'-0"

MODEL NAME  
COMMUNITY  
DIVISION

**WILMOT**

SODO 505  
FL - CENTRAL DIVISION



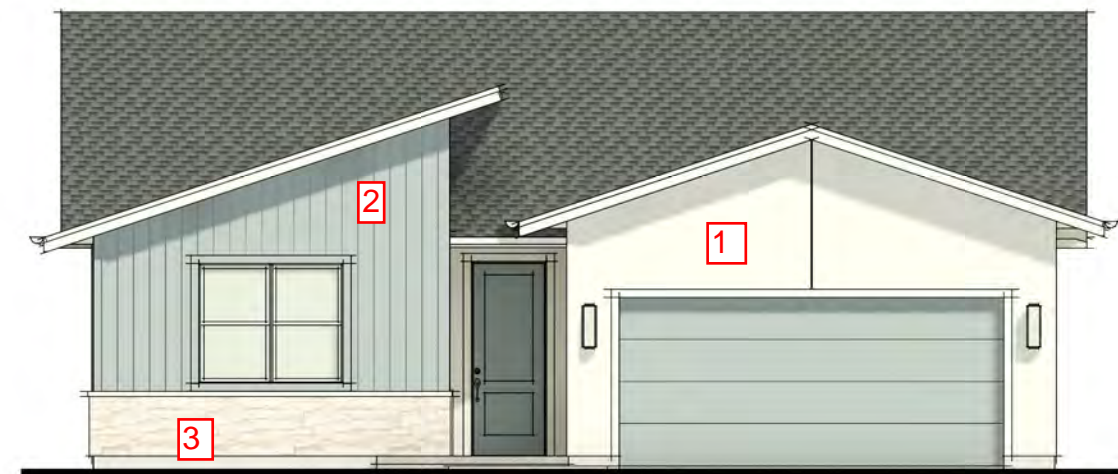


FIRST FLOOR



CONTEMPORARY

Driveway/Pedestrian  
walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

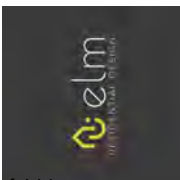
WILMOT

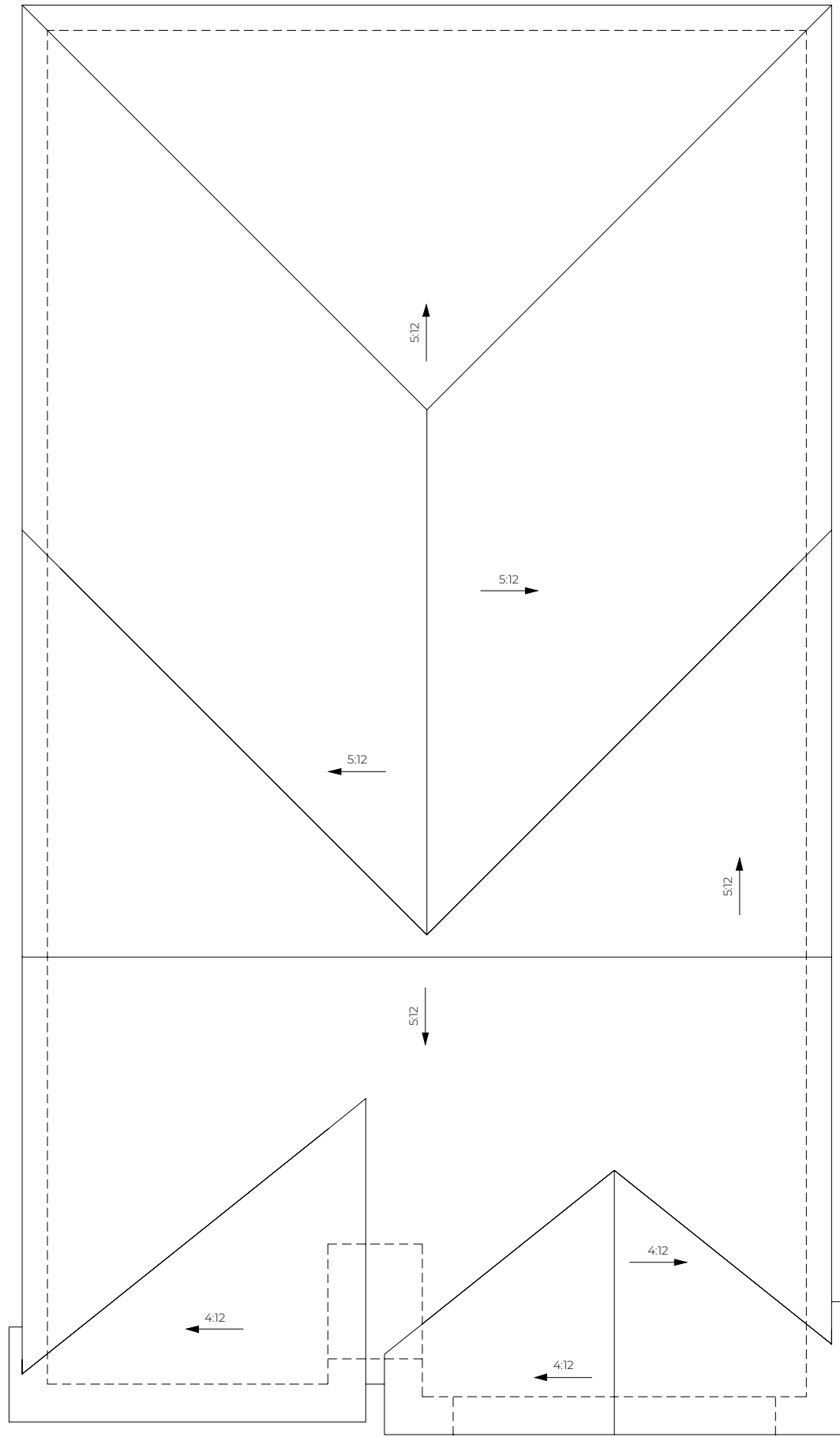
SODO 505  
FL - CENTRAL DIVISION

DATE: SD 21  
ISSUE DATE: 09.22.21  
SCALE: 1/8" = 1'-0"

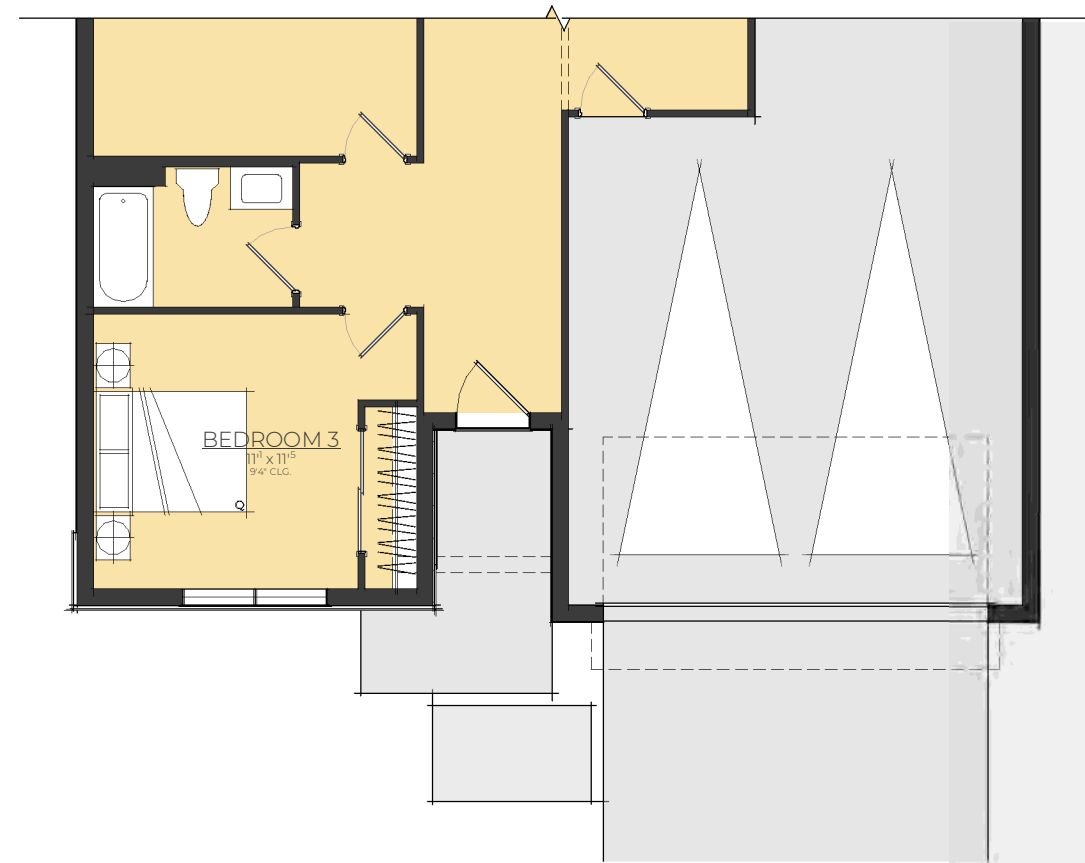
SUBJECT: D1.1

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ROOF PLAN



FIRST FLOOR PLAN

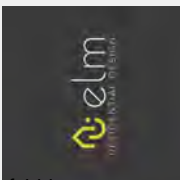
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SHEET NUMBER  
**D1.2**

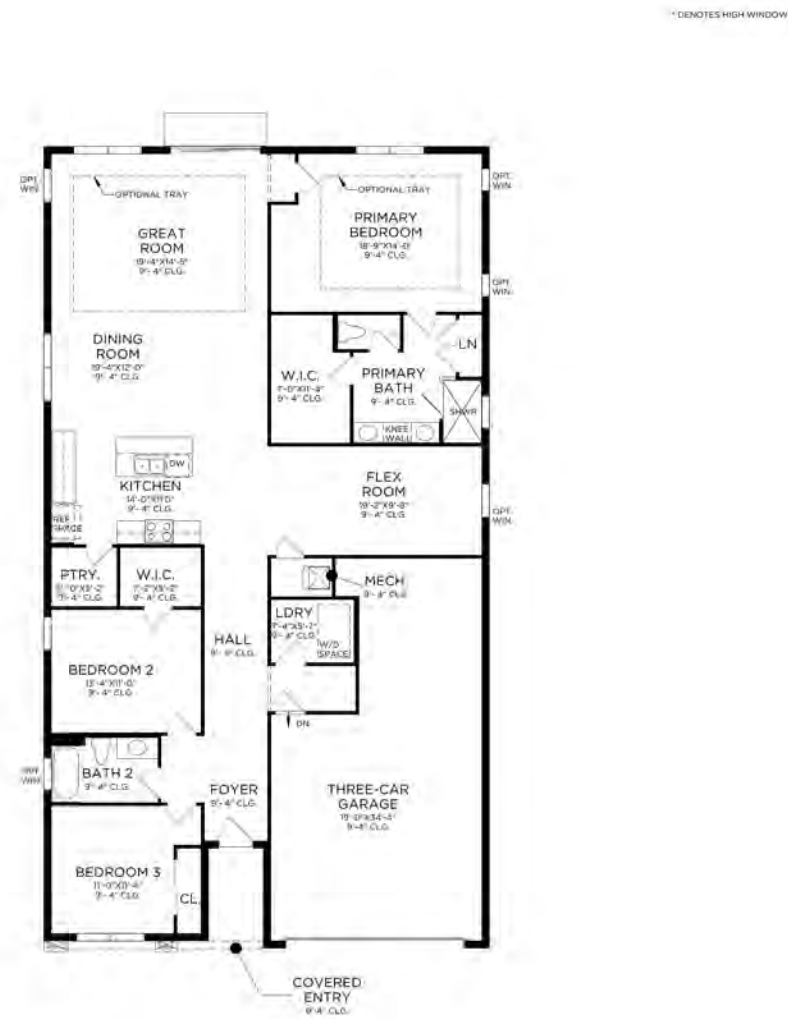
DATE  
SD 21  
ISSUE DATE  
09.22.21  
SCALE  
1/8" = 1'-0"

MODEL NAME  
COMMUNITY  
SUBDIVISION

**WILMOT**

SODO 505  
FL - CENTRAL DIVISION



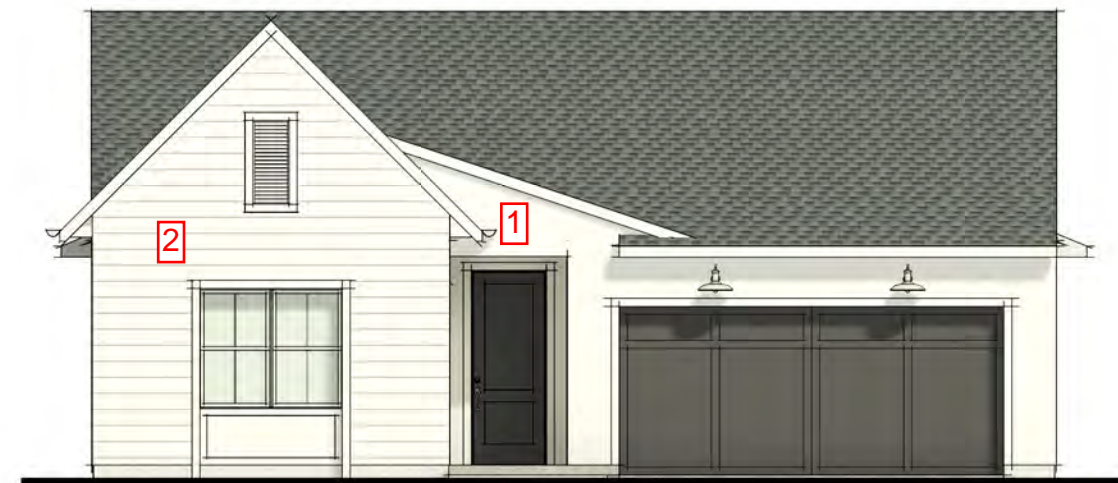


FIRST FLOOR



MODERN FARMHOUSE

Driveway/Pedestrian  
walkway to be Pavers



FRONT ELEVATION

1 = Stucco  
2 = Siding  
3 = Stone

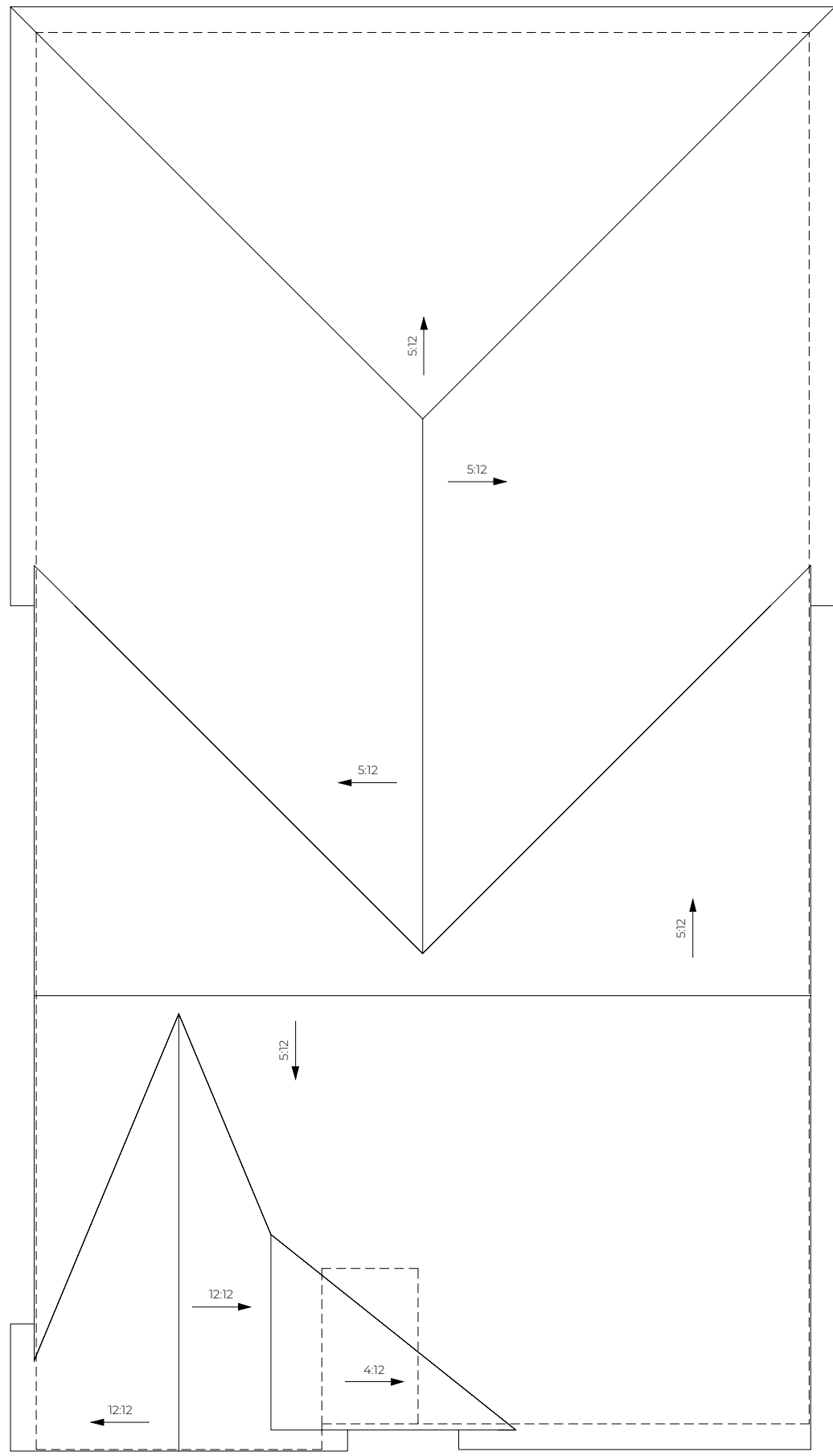
WILMOT

SODO 505  
FL - CENTRAL DIVISION

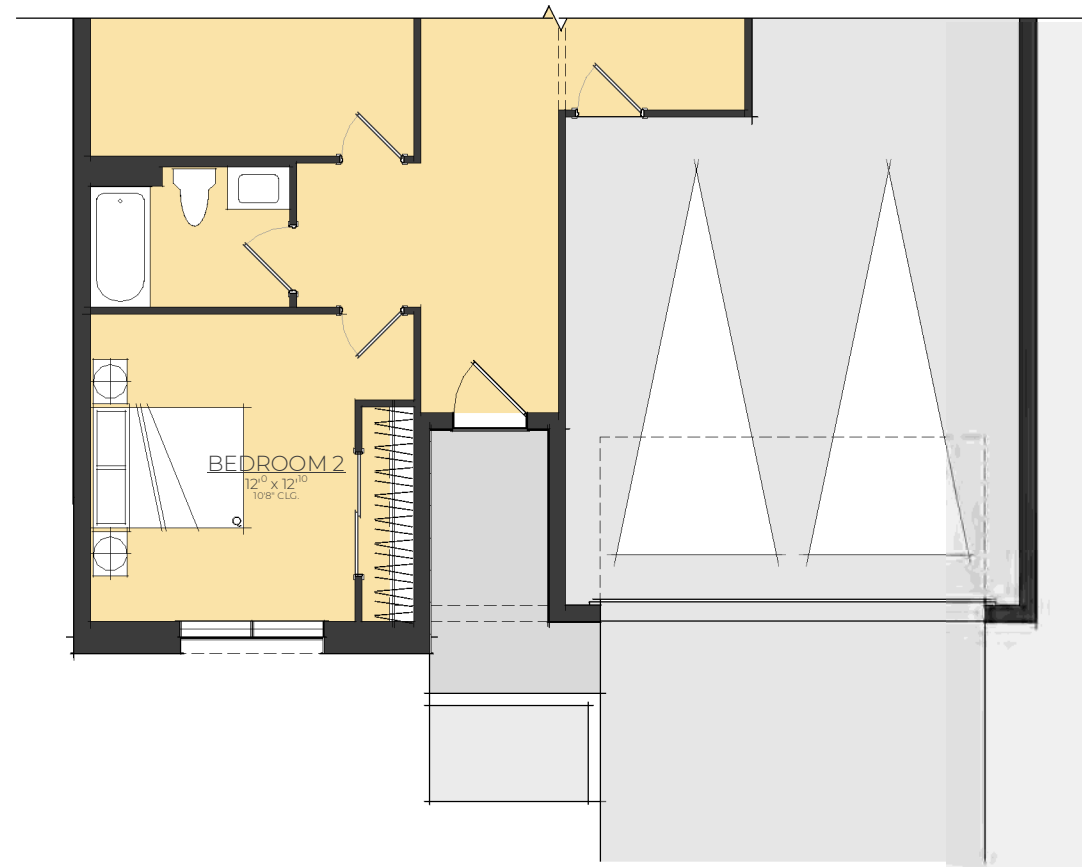
MODEL NAME:  
COMMUNITY  
SUBVISION:

IMAGE: SD 2.1  
ISSUE DATE: 09.22.21  
SCALE: 1/8" = 1'-0"

SUBJECT: D3.1  
SHEET NUMBER: D3.1



ROOF PLAN



FIRST FLOOR PLAN


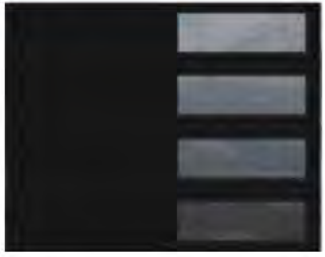
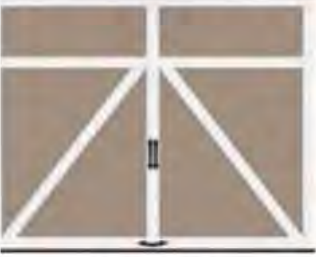



SUBJECT: **D3.2**

DATE: **SD 21**  
 ISSUE DATE: **09.22.21**  
 SCALE: **1/8" = 1'-0"**

MODEL NAME:  
 COMMUNITY:  
 DIVISION:

**WILMOT**  
 SODO 50s  
 FL - CENTRAL DIVISION





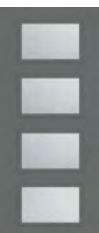



|   |  |   |  |
|---|--|---|--|
| <p><u>Modern &amp; Transitional Elevations:</u><br/>Clipay Modern Grooved</p>                                 |  <p>GROOVED PANEL*</p> | <p>Optional Long Panel, Frosted Glass.<br/>Location of lites to face out - towards side of house on front elevation, and street side if side elevation.</p> |   |
| <p><u>Craftsman&amp; Coastal Cottage Elevations:</u><br/>Clipay Grand Harbor Series 2, Design 22 , Top 11</p> |  <p>DESIGN22</p>       | <p>Optional Glass SQ 22</p>   |   |
| <p><u>Farmhouse Elevations:</u><br/>Clipay Grand Harbor Series 1, Design 12</p>                               |  <p>DESIGN12</p>      | <p>Optional Glass SQ 22</p>   |  |

*Clipay Upgraded Insulated Garage Doors included to all approved plans and elevations – Color, Hardware, Design Scheme, and Windows subject to change per plan/elevation*

# EXHIBIT B - UPGRADED FRONT ENTRY DOORS

## TOLL BROTHERS 2021 NEW DOOR STYLES & PRICES

|   |   |  |  |  |                        |  |  |
|---|---|--|--|--|------------------------|--|--|
|    | <table border="1"> <tr> <td colspan="3" style="text-align: center;"><b>Standard: Smooth 8' 2 Panel Square Top</b></td> </tr> </table>   | <b>Standard: Smooth 8' 2 Panel Square Top</b>                              |  |  |                        |  |  |
| <b>Standard: Smooth 8' 2 Panel Square Top</b>                                       |   |  |  |  |                        |  |  |
|    | <table border="1"> <tr> <td colspan="3" style="text-align: center;"><b>Option 163 Smooth 8' Full Lite Flush-Glazed</b></td> </tr> <tr> <td>Style No. S8000</td> <td></td> <td></td> </tr> </table>                                | <b>Option 163 Smooth 8' Full Lite Flush-Glazed</b>                         |  |  | Style No. S8000        |  |  |
| <b>Option 163 Smooth 8' Full Lite Flush-Glazed</b>                                  |   |  |  |  |                        |  |  |
| Style No. S8000   |   |  |  |  |                        |  |  |
|    | <table border="1"> <tr> <td colspan="3" style="text-align: center;"><b>Option 026212 Smooth 8' 3/4 Lite 1 Panel w/Privacy Glass Options*</b></td> </tr> <tr> <td>Style No. S880</td> <td></td> <td></td> </tr> </table>           | <b>Option 026212 Smooth 8' 3/4 Lite 1 Panel w/Privacy Glass Options*</b>   |  |  | Style No. S880         |  |  |
| <b>Option 026212 Smooth 8' 3/4 Lite 1 Panel w/Privacy Glass Options*</b>            |   |  |  |  |                        |  |  |
| Style No. S880  |   |  |  |  |                        |  |  |
|   | <table border="1"> <tr> <td colspan="3" style="text-align: center;"><b>Option 026634 Smooth 8' 3/4 Lite 1 Panel Flush-Glazed w/4LT SDL</b></td> </tr> <tr> <td>Style No. S82103-SDL</td> <td></td> <td></td> </tr> </table>       | <b>Option 026634 Smooth 8' 3/4 Lite 1 Panel Flush-Glazed w/4LT SDL</b>     |  |  | Style No. S82103-SDL   |  |  |
| <b>Option 026634 Smooth 8' 3/4 Lite 1 Panel Flush-Glazed w/4LT SDL</b>              |   |  |  |  |                        |  |  |
| Style No. S82103-SDL  |   |  |  |  |                        |  |  |
|  | <table border="1"> <tr> <td colspan="3" style="text-align: center;"><b>Option 139 Smooth Pulse™ 8' Ari 4-Lite w/ Privacy Glass Options*</b></td> </tr> <tr> <td>Style No. S83</td> <td></td> <td></td> </tr> </table>             | <b>Option 139 Smooth Pulse™ 8' Ari 4-Lite w/ Privacy Glass Options*</b>    |  |  | Style No. S83          |  |  |
| <b>Option 139 Smooth Pulse™ 8' Ari 4-Lite w/ Privacy Glass Options*</b>             |   |  |  |  |                        |  |  |
| Style No. S83   |   |  |  |  |                        |  |  |
|  | <table border="1"> <tr> <td colspan="3" style="text-align: center;"><b>026635 Smooth 8' Craftsman Lite 2 Panel Shaker Flush-Glazed 3LT SDL</b></td> </tr> <tr> <td>Style No. S84813-SDLF1</td> <td></td> <td></td> </tr> </table> | <b>026635 Smooth 8' Craftsman Lite 2 Panel Shaker Flush-Glazed 3LT SDL</b> |  |  | Style No. S84813-SDLF1 |  |  |
| <b>026635 Smooth 8' Craftsman Lite 2 Panel Shaker Flush-Glazed 3LT SDL</b>          |   |  |  |  |                        |  |  |
| Style No. S84813-SDLF1  |   |  |  |  |                        |  |  |

## PRIVACY GLASS SELECTION FOR OPTIONAL ENTRY DOOR



**Chinchilla** vs. **Clear**


### Chinchilla

A free-flowing configuration that presents gentle lines and curves.

Glass Privacy Rating

1

[View Matching Products](#)



**Satin Etch** vs. **Clear**

### Satin Etch

A pearlescent glass that delivers a pure, simple design aesthetic.

Glass Privacy Rating

1

[View Matching Products](#)



**Granite** vs. **Clear**

### Granite

A coarse-grained arrangement with surface detail over the entirety of the glass.

Glass Privacy Rating

1

[View Matching Products](#)


### Chord

This vertical pattern is reminiscent of waves on water.

Glass Privacy Rating

1

[View Matching Products](#)



**Chord** vs. **Clear**

### Rainglass

This elegantly-fashioned glass gives the appearance of ripples of cascading rainwater.

Glass Privacy Rating

1  10

[View Matching Products](#)



**Rainglass** vs. **Clear**